



Item	Description	KSHS
A	<p><b>THE PROJECT TEAM</b></p> <p>The "Employer":                      County Government of Nakuru                      P. O. Box 907 -20100                      NAKURU</p> <p>The "Consultants"                      Getso Consultants Limited                      P. O. Box 52979 - 00200                      NAIROBI</p> <p>The "Contractor":                      The person or persons, partnership, firm or company whose tender (offer) for the work is accepted and who consequently enters into a written contract with the Employer to carry out the works.</p>	
	TOTAL CARRIED TO COLLECTION	

Item	Description	KSHS
A	<p><b>DESCRIPTION OF SITE</b></p> <p>The site for the works is in Nakuru County Assembly, along Nakuru-Eldoret Road in Nakuru. During the contract the contractor will be expected to take all necessary measures as directed by the architect to minimize any inconvenience to users of adjacent properties and their customers that may arise from the carrying out of the contract. It is a mandatory requirement that the tenderer visits the site before pricing the bills of quantities. Prior arrangements for the site visit shall be made by the client</p>	
B	<p><b>ACCESS TO SITE</b></p> <p>Access to site is through the designated entrances by the Landlord. No other entrance will be used by the Contractor unless expressly permitted by the Employer at his own discretion. The Contractor must allow for keeping clean at all times the existing access to the site.</p>	
C	<p><b>DRAWINGS</b></p> <p>The Contractor will be deemed to have examined the drawings before tendering and to have satisfied himself regarding their details and regarding the nature and extent of the works and the method of construction involved. No claims arising out of misapprehension in these respects will be allowed.</p>	
D	<p><b>DESCRIPTION OF WORK AND SCOPE OF CONTRACT.</b></p> <p>The scope of the works in this contract involve fit out to completion of County offices in the designated space provided by the client. These include Ground Floor, First Floor and Second Floor. The works shall comprise the following</p> <ul style="list-style-type: none"> <li>• Builders' works fit outs and refurbishments</li> <li>• Electrical Installations</li> <li>• Plumbing and Drainage Installations</li> </ul> <p>The standards of workmanship and materials used are expected to be of the highest levels achievable to be commensurate with the best standards in the building industry in Kenya.</p> <p>The Employer shall have the right under this contract to hire others to carry out work falling under the contract if the contractor fails to achieve the required standards of materials and workmanship.</p>	
	TOTAL CARRIED TO COLLECTION	

Item	Description	KSHS
A	<p><b>FORM OF CONTRACT</b></p> <p>The parties shall enter into a contract which shall be the current Form of Agreement and Conditions of Contract for Building Work (April 1999 Edition), published by the Joint Building Council with the sanction of the Architectural Association of Kenya and the Kenya Association of Building and Civil Engineering Contractors, excepting in so far as deleted therein or varied hereinafter.</p> <p>Contractors are expected to be familiar with the said form of contract. They shall, if necessary, seek clarifications from the Project Quantity Surveyor via email on toroitich@getso.co.ke. on any deletions, additions, or modifications made to the Standard Form as contained herein before they submit their tenders. No claims arising out of any deletion, addition or modification of any Clause will be allowed.</p>	
B	<p><b>CLAUSES OF THE STANDARD FORM OF CONTRACT</b></p> <p>The Contractor's attention is drawn to the clauses of the Conditions of Contract and deletions, additions and modifications thereto which shall be read as incorporated herein and he shall allow any sums which he considers necessary for the observance of such conditions.</p>	
a	<p>Clause 1</p> <p><b>Definitions</b></p>	
b	<p>Clause 2</p> <p><b>Articles of Agreement</b></p>	
a	<p>Clause 3</p> <p><b>General Obligations of the Employer</b></p>	
b	<p>Clause 4</p> <p><b>General Obligations of the Contractor</b></p>	
c	<p>Clause 5.</p> <p><b>General Obligations of the Architect</b></p>	
d	<p>Clause 6</p> <p><b>General Obligations of the Quantity Surveyor</b></p>	
e	<p>Clause 7</p> <p><b>Contract Documents</b></p>	
	<p>TOTAL CARRIED TO COLLECTION</p>	

Item	Description	KSHS
a	Clause 8 <b>Contract Bills and Contract Price</b>	
b	Clause 9 <b>Contractor's Site Agent and other Staff</b>	
c	Clause 10 <b>Clerk of Works</b>	
d	Clause 11 <b>Liability Against Injury to Persons and Property</b>	
e	Clause 12 <b>Insurance Against Injury to Persons and Property</b>	
f	Clause 13.0 <b>Insurance of the Works (Contractor's Liability); N/A</b> <i>The contractor shall insure for the works in this contract.</i>	
g	Clause 14.0 <b>Insurance of the Works (Employer's Liability); N/A</b>	
h	Clause 15.0 <b>Insurance of the Works (Works of Alteration etc.); The Contractor shall provide insurance for the Works as stated under this Clause</b>	
i	Clause 16.0 <b>Performance Bond</b> <i>The Contractor shall provide a Performance Bond: Sub-clause 16.2 shall not apply in this contract.</i>	
j	Clause 17.0 <b>Compliance with Regulations, Notices, etc.</b>	
k	Clause 18.0 <b>Programme of Works</b>	
l	Clause 19.0 <b>Access to the Works</b>	
m	Clause 20.0 <b>Possession of Site and Commencement of Works</b>	
n	Clause 21.00 <b>Levelling and Setting Out</b>	
	TOTAL CARRIED TO COLLECTION	

Item	Description	KSHS
a	Clause 22.0 <b>Architect's Instructions</b>	
b	Clause 23.0 <b>Specifications of Goods, Materials and Workmanship</b>	
c	Clause 24.0 <b>Samples and Tests</b>	
d	Clause 25.0 <b>Royalties and Patent Rights</b>	
e	Clause 26.0 <b>Assignment</b>	
f	Clause 27.0 <b>Subletting</b>	
g	Clause 28.0 <b>Suspension of the Works by the Architect</b>	
h	Clause 29.0 <b>Suspension of the Works by the Contractor</b>	
i	Clause 30.0 <b>Variations</b> <i>Sub-clause 30.9 shall not apply in this contract where the Contractor fails to meet the standards of materials and workmanship and the work affected is removed from the contract for the purpose of maintaining standards in the project. The Contractor will pay to the Employer any extra costs properly incurred in executing the relevant works.</i>	
j	Clause 31.0 <b>Nominated Sub-Contractors</b>	
k	Clause 32.0 <b>Nominated Suppliers</b> <i>This clause shall not apply in this contract</i>	
l	Clause 33.0 <b>Work by other Persons Engaged by the Employer</b>	
	TOTAL CARRIED TO COLLECTION	

Item	Description	KSHS
a	Clause 34.0 <b>Payments</b> <i>No interest earning account will be opened for the Amount Retained.</i>	
b	Clause 35.0 <b>Fluctuations</b> <i>The Contract for the works is a "FIXED PRICE CONTRACT"</i>	
c	Clause 36.0 <b>Extension of Time</b>	
d	Clause 37.0 <b>Loss and Expense Caused by Disturbance of Regular Progress of the Works</b>	
e	Clause 38.0 <b>Termination of the Contract by the Employer</b>	
f	Clause 39.0 <b>Termination of the Contract by the Contractor</b>	
g	Clause 40.0 <b>Termination of the Contract by Either Party</b>	
h	Clause 41.0 <b>Practical Completion and Defects Liability</b>	
i	Clause 42.0 <b>Sectional Completion</b>	
j	Clause 43.0 <b>Damages for Delay in Completion</b>	
k	Clause 44.0 <b>Antiquities and other Objects of Value</b>	
l	Clause 45.0 <b>Settlement of Disputes</b>	
A	<b><u>APPENDIX TO THE CONDITIONS OF CONTRACT</u></b>	
a	Clause 13.0 Percentage to cover professional fees for insurance purposes only <b>10%</b>	
	<b>TOTAL CARRIED TO COLLECTION</b>	

Item	Description	KSHS
a	Clause 16.1 Name of Contractor's surety <b>As in the Form of Surety Undertaking</b>	
b	Clause 16.1 Amount of surety <b>10% of Contract Amount. Surety to be approved by the Client</b>	
c	Clause 16.2 Name of Employer's surety <b>Not Applicable</b>	
d	Clause 16.2 Amount of surety <b>Not Applicable</b>	
e	Clause 18.1 Period of submission of programme <b>within 2 weeks of signing the contract</b>	
f	Clause 20.1 Period for possession of site <b>within 1 week of Contract award</b>	
g	Clause 20.2 Contract period <b>as stated in the form of tender or subsequently agreed</b>	
h	Clause 20.2 Date for commencement of Works <b>same as date of site possession</b>	
i	Clause 20.2 Date for practical completion <b>as stated in the Form of Contract</b>	
j	Clauses 31.14, 32.4.5, 34.6 Name of the bank for purposes of interest calculation <b>Central Bank of Kenya</b>	
k	Clauses 34.1 Interval for application of payment certificate <b>1 (one) month</b>	
m	Clauses 34.4 Minimum amount of payment certificate: <b>N/A</b>	
	<b>TOTAL CARRIED TO COLLECTION</b>	

Item	Description	KSHS
a	Clauses 34.12 Percentage of certified value retained <b>10%</b>	
b	Clauses 34.12 Limit of retention fund <b>10%</b>	
c	Clauses 34.15 Periods for release of interest on retention money to Contractor <b>Not Applicable.</b>	
d	Clauses 34.17 Period of final measurement and valuation <b>Six (6) months after the Date of Practical Completion.</b>	
e	Clauses 41.6 Defects liability period <b>6 (Six) months</b>	
f	Clauses 43.1 Damages for delay in completion <b>at the rate of Kshs. 150,000/= per week or part thereof.</b>	
A	<b>SUFFICIENCY OF TENDER</b> The contractor shall be deemed to have satisfied himself before tendering to the correctness and sufficiency of his Tender for the works and of rates and prices stated in the priced Bills of quantities, which rates and prices shall cover all his obligations under the contract and all matters and means necessary for the proper completion and maintenance of the Works. The rates and prices shall not be changed whatsoever after tender opening.	
B	<b>DEFINITIONS AND ABBREVIATIONS</b> Abbreviations used in these Bills of Quantities shall be interpreted as follows:-	
a	"Approved": Shall mean <b>approved by the Architect.</b>	
b	"As directed": Shall mean <b>as directed by the Architect.</b>	
c	"B.S.": Shall mean <b>the Current British Standard specifications published by the British Standards institution, 2 Park Street, London W. I, England.</b>	
	TOTAL CARRIED TO COLLECTION	



Item	Description	KSHS
a	"Kg.": Shall mean <b>Kilograms</b>	
b	"No.": Shall mean <b>Number</b>	
c	"MM": Shall mean <b>Millimetres</b>	
d	"Lm.": Shall mean <b>Linear Metres</b>	
e	"Sm.": Shall mean <b>Square Metres</b>	
f	"Cm.": Shall mean <b>Cubic Metres</b>	
g	"M.S.": Shall mean <b>Measured separately</b>	
h	Words denoting the "Male" shall be deemed to represent the "Female" and vice versa.	
I	"Ditto": Shall mean <b>the whole of the preceding description except as qualified in the section in which it occurs. Where it occurs in brackets it shall mean the whole of the preceding description which is contained in the appropriate brackets.</b>	
A	<b>SAMPLES</b> The Contractor shall furnish at the earliest possible opportunity before the relevant section of the work commences and at his cost, any samples of materials or workmanship that may be called for by the Architect for his approval and any further samples in the case of rejection until they are approved. Such samples, when approved, shall be the minimum standard for the work to which they apply.	
B	<b>EXISTING SERVICES</b> Prior to commencement of any work the contractor shall ascertain from the relevant authorities and from a keen observation of the building, the exact positions, depths and levels of all existing electric cables, water pipes and other services in the building and shall make whatever provisions may be necessary and those that may be required by the authorities concerned for the support and protection of such services. Any damage or disturbance caused to any service/installation shall be reported immediately to the Architect, the Employer and the relevant authority and shall be made good to their satisfaction at the Contractor's expense.	
	TOTAL CARRIED TO COLLECTION	

Item	Description	KSHS
A	<p>In addition to the above requirement, the Contractor is required to program any disconnection and reconnection of services in search a manner that it shall not in any way affect the continuity of the operations of the buildings.</p> <p><b>MATERIALS, TOOLS, PLANT AND SCAFFOLDING</b></p> <p>The Contractor shall be responsible for the provision of all materials, scaffolding, tools, plant, transport and workmen required for the works except insofar as may be stated otherwise herein.</p> <p>All materials and workmanship used in the execution of the works shall be of the best quality and description. Any materials condemned by the Architect shall immediately be removed from the site at the Contractor's cost.</p> <p>All plant, tools and scaffolding shall comply with all regulations whether general or local which are in force throughout the period of the contract and shall be altered or adapted during the contract as may be necessary to comply with any amendments in or additions to such regulations.</p> <p><b>LOCAL REGULATIONS AND BY-LAWS</b></p> <p>The contractor is to comply with all regulations and by-laws of the County Government of Nakuru including serving of notices and paying of fees where applicable.</p> <p><b>SUPERVISION</b></p> <p>The works shall be executed under the direction and to the entire satisfaction of the Architect who shall, at all times, have access to the works.</p> <p><b>TRANSPORT TO AND FROM THE SITE</b></p> <p>The Contractor shall allow in his rates and prices for the transport of materials, workmen etc., to and from the site for the proposed works, at such hours and by such routes and means as are permitted by the authorities.</p> <p><b>FAIR WAGES</b></p> <p>The Contractor shall pay rates and wages and observe hours and conditions of labour not less favourable than the minimum rates of remuneration and minimum conditions of employment applicable within the jurisdiction of the Local Authority as stipulated by the Minister for Labour.</p> <p>The Contractor shall comply with the Regulation of Wages and Conditions of Employment Act, Building and Construction Industry Wages Council.</p>	
	TOTAL CARRIED TO COLLECTION	

Item	Description	KSHS
	<p>Should a claim be made to the Employer alleging the Contractor's default in payment of Fair Wages of any Workman employed on the Contract and if proof thereof satisfactory to the Employer is furnished by the Labour Department, the Employer may, failing payment by the Contractor, pay the claim out of any money due or which may become due to the Contractor under the Contract.</p> <p>The Contractor shall furnish to the Architect if called upon to do so such particulars of the rates of wages, hours and conditions of labour referred to above.</p> <p><b>A SECURITY OF THE WORKS</b>                      The Contractor shall be entirely responsible for the security of the works, materials, plant, and personnel.</p> <p><b>B PUBLIC AND PRIVATE ROADS, PAVEMENTS ETC.</b>                      The Contractor shall make good at his own expense any damage he may cause to public and / or private roads and pavements in the course of executing this contract.</p> <p><b>C POLICE REGULATIONS</b>                      The Contractor shall comply with all instructions and regulations of the police Authorities and shall pay any fines and costs arising from non-compliance of the same which may arise in the course of executing this contract.</p> <p><b>D SPACE TO BE OCCUPIED BY THE CONTRACTOR</b>                      The Contractor shall not occupy any space in the building other than the one he will be directly working on. The Contractor may use the open area within the Client's premises for his storage requirements. The architect will give directions to the contractor on which part of the open space he is allowed to use. The Contractor shall construct proper storage facilities for his materials and the salvage materials and remove them and make good at the end of the contract. The security of the works and the materials stored on site will be the responsibility of the contractor.</p> <p><b>E PROGRESS SCHEDULE</b>                      Immediately after signing the contract, the Contractor is to prepare a Time and Progress Chart showing the time and order in which he proposes to carry out the works within the total construction time stated in the contract. The chart shall show in detail the order in which each section, element or activity of the works is to be carried out.</p>	
	TOTAL CARRIED TO COLLECTION	-

Item	Description	KSHS
A	<p>At the end of each week the Contractor shall mark on the chart in a different colour the actual time taken to complete the respective stages and sections of the work. The Contractor shall also show upon the chart or on a different sheet to be made available to the Architect and the Employer the anticipated weekly labour strength required (divided into labourers and craftsmen) and shall similarly mark up the actual numbers employed.</p> <p>The Contractor shall obtain the Architect's approval of the chart and then shall supply copies to the Architect, the Quantity Surveyor, the Engineer and the Employer, and he shall pin one copy upon the site where directed. He shall thereafter adhere strictly to the approved schedule. In the event of the work falling behind the approved programme for any reason whatsoever, the Contractor shall, within a week of the deviation becoming apparent, prepare a revised schedule showing how lost time would be made up within the overall Contract Period.</p> <p>Upon commencement of the works, the contractor shall be required, in addition to other requirements on the recording of progress contained herein, to compile and submit to the Architect and the Employer Site Weekly reports upon which shall be recorded daily activities on site including the labour and machinery (if any) on site, deliveries of materials on site and the extent of work achieved at the close of the working day.</p> <p>The Contractor is required to execute the work with speed and dispatch to take as short a time on the project as possible. The Contractor may arrange overtime working with the Employer to achieve this. Any overtime payments should be allowed for in the rates and prices. No extra payment beyond the Contract Sum shall be allowed in connection thereto.</p> <p><b>OVERTIME</b></p> <p>Unless overtime is directed by the Employer or the Architect on his behalf for reasons other than the Contractor's own interest to complete the work within the contract period, the contractor will be responsible for any extra cost arising therefrom.</p> <p>No extra cost will be allowed for accelerated completion period.</p>	
	TOTAL CARRIED TO COLLECTION	

Item	Description	KSHS
	<p>If overtime is worked in accordance with an explicit written instruction issued by the Architect, the Contractor shall be reimbursed in respect of such overtime to the extent only of the additional NET cost of productive time payable over and above the basic hourly rates as laid down by the Regulation of Wages and Conditions of Employment Act, Building and Construction Industry Wages Council, and excluding any bonuses, profits and overheads.</p> <p><b>A WATER FOR THE WORKS</b>                      The Contractor shall provide all water required for the works at his own cost.</p> <p><b>B LIGHTING AND POWER</b>                      The Contractor shall provide all temporary power as may be necessary from his own sources and at his own cost for the purpose of the works. He shall also pay all fees and costs and shall obtain all permits in connection therewith.</p> <p><b>C SANITATION OF THE WORKS</b>                      The Contractor shall make his own arrangements for sanitary conveniences for his workmen. Any arrangements so made shall be in conformity with the Public Health requirements for such facilities. He shall be solely liable for any infringement of the requirements.</p> <p><b>D PRIME COST SUMS</b></p> <p>i) The words "Prime cost" (or the initials "PC") wherever appearing in the Contract documents shall mean the net cost exclusive of any trade, cash or other discounts whatsoever but inclusive of the cost of packing, carriage and delivery. Such cost shall be the sums due to the Sub-Contractor or Supplier after adjustment where applicable in respect of the measurements or rates.</p> <p>ii) Any increases or decreases in these Prime Cost Sums resulting from the adjustments which are properly paid by the Contractor shall be added to or deducted from the Contract sum in the final account. In substantiation, the Contractor shall be required to produce to the Quantity Surveyor all quotations, invoices and corroborated accounts as shall be necessary to show details of the sums actually paid.</p> <p>iii) Any sum added by the Contractor to the Contract Sum in respect of profit upon any Prime Cost Sum shall be adjusted proportionately to the net amount properly expended and included in the final settlement of accounts.</p>	
	TOTAL CARRIED TO COLLECTION	

Item	Description	KSHS
A	<p><b>NOMINATED SUB-CONTRACTORS</b></p> <p>The Contractor shall provide the following services for Nominated Sub-contractors:-</p> <p>(i) General Attendance: The following services are described as “allow” for general attendance</p> <p>(a) Use, for the purpose of the Contract Works, of any scaffolding belonging to or provided by the Contractor while it remains erected upon the site, provided that no warranty or other liability on the part of the Contractor or of his Sub-Contractors shall be implied in regard to the fitness, condition or suitability of the said scaffolding.</p> <p>(b) Provision of water, lighting, watching and attendance for the purpose of the sub-contract Works;</p> <p>(c) use of sanitary accommodation and welfare facilities that are provided for the Contractor’s workers;</p> <p>(d) Provision of space or spaces for storage of plant and materials;</p> <p>(e) Clearing away rubbish produced by the Sub-Contractors.</p> <p>(ii) Special Attendance: The following services are stated under a separate item and where described shall have the meaning described hereunder.</p> <p>(a) Taking delivery: shall mean provision of unskilled labour necessary to attend upon the Sub-Contractor’s workmen for the purpose of unloading plant and materials when received upon the site and placing in position within the Sub-Contractor’s storage space or store;</p> <p>(b) Hoisting: shall mean the provision of unskilled labour and the use of any Contractor’s standing plant for the purpose of raising the Sub-Contractor’s plant, materials or components to the various levels but not placing in its final position;</p> <p>(c) Providing power: shall mean the provision of power during the course of the works and during the period of Commissioning and Testing</p>	
	TOTAL CARRIED TO COLLECTION	

Item	Description	KSHS
A	<p><b>PROTECTING AND CLEANING THE WORK</b></p> <p>The Contractor shall cover up and protect all finished work liable to damage including provision of temporary roofs, gutters, drains, etc., as necessary until the completion of the works.</p> <p>In the event of any damage occurring to the works, materials, sewers, drains, gullies, paths or other works on the site in temporary possession of the contractor for the purpose of this Contract, either from the weather, want of proper protection, defects or insufficiency of the works or any other cause whatsoever during the progress of the works, the Contractor alone shall be responsible and shall, without extra charge, make good all damage and pay all costs which may be levied.</p>	
B	<p><b>PREVENTION OF NUISANCE</b></p> <p>The Contractor shall take all possible precautions to prevent any nuisance, inconvenience or injury to the occupiers/users of the building generally; users of the adjacent and neighbouring properties, and to the public</p> <p>All work operations which may produce undue levels of noise, dust, vibration, welding flashes or any other discomfort to the occupiers of the neighbouring buildings or the general public must be undertaken at suitable times which shall be determined in close liaison with the Architect and the <b>Employer</b>.</p>	
C	<p><b>PREVENTION OF NOISE</b></p> <p>In addition to the above provision on nuisance, the Contractor shall keep the general noise emanating from the site operations at all times to a level that does not cause discomfort to the average person. He shall take all necessary measures to muffle the noise from his tools, equipment and workmen to the reasonable satisfaction of the Architect and the Employer.</p>	
D	<p><b>REMOVAL OF PLANT, RUBBISH, ETC.</b></p> <p>The Contractor shall, upon completion of the Works, remove and clear away all plant, rubbish, cans and unused materials, and shall leave the building and generally the whole of the site of the works in a clean and tidy state to the satisfaction of the Architect and the Employer. During site operations, he shall also remove from the site all rubbish and dirt as it is produced to maintain the tidiness of the premises and its immediate environs.</p>	
	TOTAL CARRIED TO COLLECTION	

Item	Description	KSHS
A	<p><b>VALUE ADDED TAX</b></p> <p>The Contractor's attention is drawn to the V.A.T. Public Notice No. 6 of 5th August 1993 regarding the Finance Bill (1993) (and any subsequent amendments to-date) which requires the Contractor to pay Value Added Tax (V.A.T.) to the Government of Kenya for all Contracts entered into after 1st September 1993. P.C. and Provisional Sums shall be deemed to be inclusive of V.A.T. All tender rates shall be inclusive of VAT.</p>	
B	<p><b>TRAINING LEVY</b></p> <p>The Contractor's attention is drawn to Legal Notice No. 237 of October 1971, which requires payment by the Contractor of a Training levy on all contracts of more than Shs. 50,000.00 in value and he should allow in this section of these Bills of Quantities for all costs arising or resulting therefrom.</p>	
C	<p><b>LABOUR AND PLANT RETURNS</b></p> <p>The Contractor shall deliver to the Architect detailed weekly returns showing the supervisory staff and the numbers of the several classes of labour and plant employed on the Works.</p>	
D	<p><b>VISITORS BOOK AND SITE DIARY</b></p> <p>The Contractor shall keep on the site a visitors book for recording the names of all persons who visit the site for the purpose of the project. He shall also maintain on site a diary in which he shall record site activities on a daily basis and particularly any occurrence which bears on the progress of the works in any way.</p>	
E	<p><b>SAFETY, HEALTH AND WELFARE OF WORKPEOPLE</b></p> <p>The Contractor shall allow for providing for the safety, health and welfare of workpeople and for complying with any relevant Ordinances, Regulations and Union Agreements.</p>	
F	<p><b>WARRANTY AND PERFORMANCE STANDARDS</b></p> <p>The Contractor shall furnish the Employer with a general written warranty covering qualities of workmanship, materials and equipment, and be compelled thereby for a five year period after practical completion of the Contract, except for latent defects which shall be warranted for ten years. The Contractor must make good, at his own expense, such repairs and replacements as may be required as a consequence of negligent workmanship or defective material. The Contractor must also procure such warranties and guarantees as described in the specification section of these Bills of Quantities and relevant Codes of Practice. The Contractor must also comply with all tests of materials as required and/or as directed by the Architect.</p>	
	TOTAL CARRIED TO COLLECTION	



Item	Description	KSHS
A	<p><b>NATIONAL INSURANCE AND PENSIONS</b></p> <p>The Contractor shall allow for making any National Social Security Fund payments due in respect of workpeople.</p>	
B	<p><b>PROTECTION OF WORKS AND PERSONS</b></p> <p>The Contractor shall allow for the protection of his own and his Sub-Contractor's work liable to damage, including provision of temporary roofs, gutters, drains, etc., if necessary and shall case-up, cover or in other suitable ways protect all finished work liable to injury, to the satisfaction of the Architect until completion of the Contract. From the beginning to the completion of the works, the same shall be under the entire care and control of the Contractor, who shall take all possible precautions to prevent any nuisance, inconvenience or injury to the holders or occupiers of surrounding properties and to the public generally, and shall at all times keep all paths and roads affected by the works in a safe and clear state, and shall use proper precautions to ensure the safety of all wheeled traffic and pedestrians.</p> <p>The Contractor shall allow for providing all watching, lighting, barriers, covering open trenches and protection of the works, including Sub-Contract works as may be necessary for the safety of the works and for the protection of the public and his own and Sub-Contractor's employees. In the event of any damage or loss occurring to the works or to materials or to any sewers, gullies, drains, paths, or other works on the site in temporary possession of the Contractor for the purpose of this Contract either from the weather, want of proper protection, defects, theft, insufficiency of the works or any other cause whatsoever during the progress of the works, or for any accident or damage to property or persons by reason of the said works, the Contractor alone shall be responsible and shall without extra charge, make good all damage and pay all costs incurred.</p>	
C	<p><b>HOLIDAYS AND TRANSPORT FOR WORK PEOPLE</b></p> <p>The contractor shall allow for providing holidays and transport for workpeople and for complying with any relevant Ordinances, Regulations or Union Agreement.</p>	
D	<p><b>SITE OFFICES</b></p> <p>The Contractor must allow for erecting and maintaining on the site in such positions as may be directed, adequate site offices for the use of his own site staff and removing the same at completion and making good all surfaces disturbed. The site office shall be of sufficient size and shall have sufficient furniture to permit the Architect to hold site meetings in it.</p>	
	TOTAL CARRIED TO COLLECTION	

Item	Description	KSHS
	<p>The Contractor shall also allow for providing the services of a sweeper, for keeping both office and closet in a clean and sanitary condition from the commencement to the completion of the works; and for dismantling at completion and making good all disturbed surfaces.</p> <p><b>A TELEPHONE</b>                      The Contractor shall arrange for a working telephone facility to be permanently on site. The Contractor shall pay all charges for hire or purchase of equipment, licences connecting, rental and calls made.</p> <p><b>B SHEDS FOR STORAGE OF MATERIALS</b>                      The Contractor shall provide, erect and maintain on the site, in such positions as may be directed, ample temporary watertight, lock-up sheds for the proper storage and protection of cement and other materials liable to damage, and shall remove same at completion and make good all surfaces disturbed. He shall also provide space for storage accommodation which Sub-Contractors may wish to erect for themselves.</p> <p><b>C NO WORKMEN TO BE HOUSED ON SITE</b>                      No labour with the exception of a watchman may be housed on the site. The cost of transporting labour to and from the site or elsewhere will be deemed to included in the tender.</p> <p><b>D WORK TO BE OPENED UP AT THE REQUEST OF THE ARCHITECT</b>                      The Contractor shall, at the request of the Architect open for inspection any work covered up, and, should the Contractor refuse or neglect to comply with such request, the Architect may employ workmen other than those employed by the Contractor to open up the same. If the said work has been covered up in contravention of the Architect's instructions, or if, on being opened up, it be found not in accordance with the drawings or Bills of Quantities or the instruction of the Architect, the expenses of opening and covering it up again whether done by the Contractor or by the Architect shall be borne by and be recoverable from the Contractor or may be deducted from any monies due to the Contractor.</p>	
	TOTAL CARRIED TO COLLECTION	

Item	Description	KSHS
A	<p>If the work has not been covered up in contravention of such instructions and be found in accordance with the said drawings and Bills of Quantities, then the expenses aforesaid shall be borne by the Employer, and be added to the Contract Sum; provided always that, in the case of foundations or of any other urgent work so opened up and requiring immediate attention, the Architect shall within a reasonable time after the work has been opened, make or cause to be made the inspection thereof, and at the expiration of such time, if such inspection shall not have been made the Contractor may cover up the same and shall not be required to open it up again for inspection except at the expense of the Employer.</p> <p><b>HOARDING</b></p> <p>The Contractor may be required by the architect or by the local bylaws to enhance the seclusion of the works by providing hoarding as necessary. The exact location of the hoarding is to be negotiated with the Local Authority by the Contractor who will also be responsible for paying any fees or taxes in respect of the hoarding, fencing and gates.</p> <p>The Contractor shall allow for thoroughly maintaining the hoarding and gates throughout the Contract and clearing away and making good disturbed ground on completion</p>	
B	<p><b>SCAFFOLDING</b></p> <p>The Contractor shall allow for providing, erecting and dismantling all general scaffolding required for the works. The Contractor must allow here or in his rates for providing all special scaffolding required by his Sub-Contractors, other than Nominated Sub-Contractors carrying out works for which P.C. Sums are included in these Bills. Where the Contractor is required to provide special scaffolding for these latter Sub-Contractors, an item is included for pricing under the relevant P.C. Sum.</p>	
C	<p><b>SIGNBOARD</b></p> <p>The Contractor must allow for providing, erecting and maintaining a site signboard, the size, type of construction and lettering of which shall be to the Architect's design. The names of the Consultants are to be in lettering 50mm high. The board is to be fixed in an elevated position on the site where indicated by the Architect. On completion of the works, the notice board shall be removed and making good shall be carried out as necessary.</p>	
	TOTAL CARRIED TO COLLECTION	

Item	Description	KSHS
A	<p><b>WORKS TO BE DELIVERED UP CLEAN</b></p> <p>On completion of the Contract, the site and the works shall be cleared of all plant, scaffolding, rubbish and unused materials and shall be delivered up clean and in perfect condition in every respect to the satisfaction of the Architect. Particular attention is to be paid to leaving all windows and floors clean and removing all paint and cement stains.</p>	
B	<p><b>APPROVED SUBCONTRACTORS</b></p> <p>Where in these Bills of Quantities work is described to be executed by an approved Sub-Contractor, the firms appointed will be treated as Sub-Contractors employed by the Contractor and not as Nominated Sub-Contractors. The unit prices for such work must, therefore, include not only the Sub-Contractors' charges, but also the Contractor's overheads, profits and attendance. Such firms shall be classified on the Ministry of Works lists as suitable to undertake class "D" works and above.</p>	
C	<p><b>APPROVAL FOR EMPLOYMENT OF SUB-CONTRACTORS</b></p> <p>The Contractor will be required to obtain the approval of the Architect/Engineer in writing before employing any of his own (i.e. not nominated) Sub-Contractors for any portion of the work.</p>	
C	<p><b>EXISTING PROPERTY</b></p> <p>The Contractor shall take every precaution to avoid damage to all existing property including roads, cables, drains and other services and he will be held responsible for all damage arising from the execution of this Contract to the aforementioned, and he shall make good all such damage where directed at his own expense to the satisfaction of the Architect.</p>	
D	<p><b>TESTING</b></p> <p>Allow for all expenses in connection with the testing of materials as specified hereunder including the supply and preparation of materials to be tested, the cost of materials and their packing and conveyance to the nearest approved testing laboratory, laboratory charges, etc.</p>	
	TOTAL CARRIED TO COLLECTION	
Item	Description	KSHS

A	<b>WORK RE-MEASUREMENT</b>	<p>All work in this contract shall be re-measured on completion and a final account of the contract prepared by the Quantity Surveyor. The contractor will be given the opportunity to be present for all re-measurements. The final contract sum will be based on the final re-measurements. The Contractor is therefore cautioned against using the bills of quantities for ordering of materials as the quantities may change in the course of the contract. Neither should the contractor use the Quantities in the Bills of Quantities for executing work on site. The use of the bills of quantities by the contractor for the above purposes shall be at the contractors own risk and no claims arising from any losses arising therefrom shall be accepted.</p>
B	<b>DIRECT CONTRACTS</b>	<p>Notwithstanding the foregoing conditions, the Employer reserves the right to place a "Direct Contract" for any goods or services required in the works which are covered by a P.C. Sum in the Bills of quantities and to pay for the same direct, In any such instances, profit relative to the P.C. Sums shall be allowed.</p>
C	<b>ADJUSTMENT OF PROVISIONAL SUMS</b>	<p>In the final account all provisional sums shall be deducted and the value of the work properly executed in respect of them upon the architect's order added to the contract sum. Such work shall be valued as described for variations in the conditions of contract, but should any part of the work be executed by a nominated subcontractor, the value of such work or articles for the work to be supplied by a nominated sub-contractor, shall be treated as P.C sum and profit and attendance comparable to that contained in the priced bills of quantities for similar items added.</p>
D	<b>CONTRACT COMPLETION PERIOD</b>	<p>The contract completion period in accordance with the conditions of contract must be strictly adhered to. The "Architect" shall strictly monitor the Contractor's progress in relation to the progress chart and should it be found necessary, the "Architect" shall inform the Contractor in writing that his actual performance on site is not satisfactory.</p> <p>In all such cases, the Contractor shall accelerate his rate of performance, production and progress by all means such as additional labour, plant e.t.c., and working overtime all at his cost</p>
<b>TOTAL CARRIED TO COLLECTION</b>		



Item	Description	KSHS
A	<p><b>PAYMENTS TO DOMESTIC SUBCONTRACTORS</b></p> <p>The Main Contractor shall be fully responsible for paying his Domestic Sub-Contractors but the employer reserves the right in very exceptional circumstances to make such payments direct in the interest of the project, where completion thereof might be jeopardised by any dispute between any of the Sub-Contractors involved.</p>	
B	<p><b>COPYRIGHT</b></p> <p>The Copyright of these documents is vested in the Quantity Surveyor for the project. This document shall not be reproduced in whole or in part without their written permission. It shall also not be used for any purpose other than for the works as measured and described in these Bills of Quantities for this contract.</p>	
TOTAL CARRIED TO COLLECTION		

Item	Description	KSHS
	<p><b>SUMMARY</b></p> <p>From page No.</p> <p>P/1</p> <p>P/2</p> <p>P/3</p> <p>P/4</p> <p>P/5</p> <p>P/6</p> <p>P/7</p> <p>P/8</p> <p>P/9</p> <p>P/10</p> <p>P/11</p> <p>P/12</p> <p>P/13</p> <p>P/14</p> <p>P/15</p> <p>P/16</p> <p>P/17</p> <p>P/18</p> <p>P/19</p> <p>P/20</p> <p>P/21</p> <p>P/22</p>	
<b>TOTAL FOR PRELIMINARIES CARRIED TO MAIN SUMMARY</b>		

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>ELEMENT NO. 1: DEMOLITIONS</u></b>				
	<b><u>Pricing Notes</u></b>				
	<b><u>Tenderers are strongly advised to read and understand the following notes before pricing this section. Any query on the notes should be referred to the Quantity Surveyor</u></b>				
1	The unit of billing in this section is "item"				
2	<p>Amounts for demolitions shall include the following in addition to what is described in the particular item:</p> <p>a) Making good i.e. re-instatement of any finishes and structures affected by the demolition work to the original state.</p> <p>b) Clearing debris with speed on a daily basis as they arise, cleaning of affected surfaces, and removal of the debris from site to Nairobi County Government approved dumping sites. Accumulation of debris within the site premises shall not be allowed.</p>				
3	Demolition work shall be carefully executed with the particular aim of minimizing damage to adjacent finishes, structure, or components.				
4	The amounts quoted shall be deemed to be inclusive of all handling of the removed items and their removal from site.				
5	Amounts given should include for adequate temporary support and protection for the remaining elements of the buildings being demolished and to adjacent buildings and services.				
Carried to collection					



Item	Description	Qty	Unit	Rate	Amount (Kshs.)
1	All materials, components and fittings arising from the demolitions work shall become the property of the Contractor unless the Client specifically requests for them. The tenderer is therefore expected to give realistic credit in the appropriate column for items which have salvage value.				
2	Amount indicated will be adjusted against the approximate quantity shown in the brackets to reflect the actual quantity of demolition work executed.				
	<b><u>Measured Demolition Works</u></b>				
A	Hack away/ prepare existing floor finish and skirtings; comprising ceramic tiles including screed to an average depth of 40mm deep, cart away arising debris and prepare to receive new finish (approximately 278 square metres) in reception, corridors, gents, staircase and landings, and sections of the office spaces with defective floor tiles.	1	Item		
B	Surface hack off existing ceramic wall tiles and prepare surface to receive new wall finishes (46 square metres) in gents washroom	1	Item		
C	Carefully demolish the existing MDF with glass infills dry partitions including doors on these partitions in committee rooms 01, 02 and 03; set aside the salvaged materials as directed by the Client and make good affected areas. (57 square metres)	1	Item		
D	Carefully remove the storage shelves and cabinets in office 02. set aside as directed by Client and make good the affected areas. 2No. Shelves of overall size 1800 x 400 x 2400 mm high	1	Item		
Carried to collection					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
A	Carefully demolish existing ceiling finishes comprising of acoustic/gypsum ceilings including all brandering and fittings at the reception. Provisional (77 square metres)	1	Item		
B	Carefully remove existing water closets, urinals and wash hand basin in the gents washroom; set aside Water Closets for reuse; set aside other salvaged fittings as directed by the Client. Terminate all plumbing and drainage lines and make good affected areas to recieve new fittings.	1	Item		
C	Demolish existing timber partitions above metal grilles on dwarf walls along the corridors; including supporting frames; make good affected areas to receive gypsum partitions; appro. 15 square meters	1	Item		
D	Carefully remove existing timber doors complete with frames and ironmongeries at the committee room 02 and 03 and secretary office; set aside for reuse in different positions at the committee room 02 and 03 and office 05; 3 No. doors of average size 900 x 2400 mm high overall	1	Item		
E	Carefully demolish existing masonry walls at the committee room 02 and 03 and office 02 to create opening for new positions of salvaged doors make good affected areas to receive the salvaged doors; approx 7 Square meters	1	Item		
Carried to collection					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
A	Carefully demolish existing masonry walls at the Secretary office; make good affected areas to receive new aluminium framed partition; approx 17 Square meters	1	Item		
B	Carefully remove the pegion holes and cabinets in pegion hole room. Set aside as directed by Client and make good the affected areas to receive new pegion holes and shelves. Overall size 6300 x 400 x 2400 mm high	1	Item		
Carried to collection below					
	<p><b><u>Collection</u></b></p> <p>From page 2/1</p> <p>From page 2/2</p> <p>From page 2/3</p> <p>From page 2/4 Above</p>				
<b>TOTAL FOR DEMOLITIONS CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>ELEMENT NO 2: WALLS</u></b>				
	<b><u>Internal Walls</u></b>				
	<u>Natural stone walls as local approved stone: machine cut: bedded, jointed and pointed in cement sand (1:3) mortar: recessed vertical and horizontal joints :in</u>				
A	150 mm Thick walls; to block demolished doors in committee room 02 and 03	5	Sm		
B	Ditto; internal wall partitions to committee rooms	34	Sm		
	<u>Horizontal bituminous hessian base to BS 743 type A: or other equal approved damp-proof course: in cement/ sand (1:3) mortar: to</u>				
C	150 mm Wide: under walling	13	Lm		
<b>TOTAL FOR WALLING CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>ELEMENT NO. 3: PARTITIONS</u></b>				
	<b><u>Aluminium Partitions</u></b>				
	<u>The following in Aluminium Glazed Partitions: butt jointed glazing with silicon</u>				
	<u>Supply, assemble and fix the following purpose made powder coated anodised aluminium frames including wool pile: timber inserts including battens to top frame to match aluminium frames: all to architects detail</u>				
A	50 x 50 x 2 mm Vertical frame	37	Lm		
B	50 x 50 x 2 mm Plinth frame; fixed to floors at 1000 mm centres	9	Lm		
C	50 x 50 x 2 mm Cornice frame; fixed to ceilings at 1000 mm centres	9	Lm		
D	15 x 15 x 1.2 mm Fixing or glazing beads	110	Lm		
	<u>Glass sheet in openings: clear: Laminated</u>				
E	6 mm thick to metal with beads (m.s.): panes of varying sizes: silicon jointed to vertical joints	29	Sm		
F	Rubber washleather gasket to hold glass: complete with silicon filler	110	Lm		
	<u>Film to glass</u>				
G	Supply and fix decorative film to glass where directed: oracle series or other equal and approved : film type sparkle white, sparkle bronze, sparkle grey or other colours obtainable from m/s Window Plus (E.A) Ltd or other equal approved suppliers : to interior designers approval: <b>To Internal Partitions</b>	29	Sm		
Carried to collection					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>Drywall partition</u></b>				
A	<b>200mm</b> thick Drywall fixed on the dwarf walls above the metal grilles along corridor partition wall on the staircase side; Comprising of 67 x 32 mm U section galvanized frames at 600 mm centres both ways with 1 layer 12.5mm gypsum board on both sides. Dry wall surfaces to include skimming, undercoat & painting in 3 coats of roller applied Crown SILK VINYL EMULSION paint or equal to approval	15	Sm		
B	Ditto; but 100mm thick cement board to cover the existing AC unit at the waiting lounge area	5	Sm		
Carried to collection					
	<b><u>Collection</u></b>				
	From page 2/6				
	From page 2/7 Above				
<b>TOTAL FOR PARTITIONS CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>ELEMENT NO 4: WINDOWS</u></b>				
	<u>MDF Board Lining</u>				
A	400 x 25mm window board: moulded edge fixed and painted to match final wall/concrete surfaces finishes: with and including cypress bearers set into concrete or masonry to seal gaps between curtain walls and windows thresholds	167	Lm		
	<u>Prepare and apply one coat of aluminium wood primer or equal to approval: on timber surfaces in contact with concrete or masonry or curtain walls: to</u>				
B	Surfaces 200-300 mm girth	167	Lm		
	<b><u>Glazing to Windows (Committee Rooms)</u></b>				
	<u>Powder coated aluminium windows: comprising 50 x 50mm x 2mm thick frame all round: infilled in single glazing 6mm clear laminated glass : permanent ventilators full width: opening sections are sliding; glazing beads and neoprene gasket: complete with ironmongery: fixing with aluminium screws: plugging or fixing to concrete, stonework or blockwork: sealing with mastic: oiling and adjusting on completion</u>				
C	Window size 900 x 1400mm high overall:	13	No		
D	Allow a sum for repainting all window curtain rods and repairing (fixing of detouched curtain rods) of defective window curtain rods on ground floor: <b>contractor to visit site to ascertain works required</b>		Sum		
<b>TOTAL FOR WINDOWS CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>ELEMENT NO 5: DOORS</u></b>				
	<u>Aluminium Framed Doors (Controlled by Receptionist)</u>				
A	Supply and fix powder coated aluminium framed double leaf door: comprising 100 x 50mm x 2mm thick frame all round: double leaves infilled in 12 mm thick toughened glass overall size 1400 x 2400 mm comprising 2 No. 700 x 2400mm panels; complete with fixing fittings/ accessories, ironmongeries; fixed complete with and including electric lock system and Heavy Duty Door Closer	1	No		
	<u>Film to door</u>				
B	Supply and fix decorative film to glass where directed: oracle series or other equal and approved : film type sparkle white, sparkle bronze, sparkle grey or other colours obtainable from m/s Window Plus (E.A) Ltd or other equal approved suppliers : to interior designers approval: <b>To glazed doors</b>	4	Sm		
	<u>Polishing and Varnishing of Timber Door Main Entrance Door)</u>				
C	Allow for polishing and varnishing with 3 coats of Crown Polyurethane Clear Varnish; door overall size 4700 mm x 2700 mm high overall	26	Sm		
	<u>Fixing of salvaged doors on site</u>				
D	Take salvaged timber doors complete with timber door frames and ironmongeries and fix into new designated positions/openings; door overall size 900 x 2400mm; <b>Allow for labour only</b>	3	No		
Carried to collection					



Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<u>Prepare surfaces and apply autospray lacquer paint as "Crown Paints" or other equal approved: on wood surfaces: to</u>				
A	Door: general surfaces; to new and existing doors	65	Sm		
B	Surfaces over 200 mm but not exceeding 300 mm girth: frame, architrave and quadrant; to new and existing doors	99	Lm		
C	Surfaces not exceeding 100 mm girth; to new and existing doors	99	Lm		
	<u>Prepare and apply one coat aluminium hardwood primer as 'Crown Paints' or other equal and approved: on timber surfaces into contact with masonry or concrete</u>				
D	Frames or the like: over 200 but not exceeding 300 mm girth	99	Lm		
E	Surfaces not exceeding 100 mm girth	99	Lm		
	<u>Prepare surfaces and apply one undercoat and three coats of special metal paint finish as Gloss Enamel paint finish or equal to approval. To:</u>				
F	Metal door surfaces	6	Lm		
G	Provide a provisional sum of <b>KES. 50,000.00</b> for making good defects on existing doors on Ground floor		Sum		<b>50,000.00</b>
Carried to collection Below					
	<b>Collection</b>				
	From page 2/9				
	From page 2/10 Above				
<b>TOTAL FOR DOORS CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>ELEMENT NO 6: FINISHES</u></b>				
	<b><u>FLOOR FINISHES</u></b>				
	<u>Cement and sand (1:4) screed: to hacked floors: in</u>				
A	20 mm thick <b>finishing/levelling</b> screed finished to receive Ceramic floor tiles (m.s)	195	Sm		
B	Ditto; to receive granito floor tiles (m.s)	77	Sm		
	<u>Supply and fix <b>SAJ Ceramic</b> floor tiles and skirtings to match the existing floor finish:Allow prime cost rate of <b>Kshs.900.00 per square metre inclusive of VAT for purchase: Add for transport, wastage ,spacers, tile adhesive/ cement/ mortar and fixing</b> :to regular pattern: bedding, jointing and pointing in</u>				
C	Floor: fixing with approved quality adhesive: to corridors, lounge, committee rooms, gents washroom and replacing of few tiles in office spaces	195	Sm		
D	Ditto 100 x 10 mm Thick skirtings	67	Lm		
	<u>Supply and fix <b>granito</b> floor tiles and skirtings to match the existing floor finish:Allow prime cost rate of <b>Kshs.2000.00 per square metre inclusive of VAT for purchase: Add for transport, wastage ,spacers, tile adhesive/ cement/ mortar and fixing</b> :to regular pattern: bedding, jointing and pointing in</u>				
E	Floor: fixing with approved quality adhesive: <b>to reception</b>	77	Sm		
F	Ditto 100 x 10 mm Thick skirtings	69	Lm		
Carried to collection Below					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>Staircase finishes</u></b>				
	<u>Cement and sand (1:4) screed: to hacked floors: in</u>				
A	20 mm thick <b>finishing/levelling</b> screed finished to receive Ceramic floor tiles (m.s) in landings	3	Sm		
B	Ditto; to 300mm wide treads	26	Lm		
C	Ditto; 150 mm high risers	29	Lm		
	<u>Supply and fix <b>Granito</b> staircase tiles and skirtings to match the existing floor finish:Allow prime cost rate of <b>Kshs.2000.00 per square metre inclusive of VAT for purchase: Add for transport, wastage ,spacers, tile adhesive/ cement/ mortar and fixing</b> :to regular pattern: bedding, jointing and pointing in</u>				
D	To landings	3	Sm		
E	300 mm wide treads ditto	26	Lm		
F	Extra over ditto for 30 mm wide etching to make treads non-slip (3 No per tread)	26	Lm		
G	150 mm high risers ditto	29	Lm		
H	150 mm High skirting: to profile of steps	22	Lm		
	<b><u>Redecoration of Balustrading/Railing to staircase</u></b>				
	<u>Prepare surfaces and apply one undercoat and three coats of special metal paint finish as Gloss Enamel paint finish or equal to approval. To:</u>				
I	1000 mm high staircase railing	10	Lm		
Carried to collection					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>WALL FINISHES</u></b>				
	<b><u>Internal Wall Finishes</u></b>				
	<u>Cement and sand (1:4): to walls: in</u>				
A	10 mm Thick backing: to receive ceramic wall tiles	50	Sm		
	<u>300 x 300 x 6mm Approved first Ceramic wall tiles : SAJ or approved colour: glazed: to regular pattern: bedding and jointing in cement mortar (1:4) grouting joints with matching coloured cement: colour to Architect's scheme (Allow a prime cost rate of Kshs. 900.00 VAT inclusive for purchase: Add for waste, transport and labour and all other necessary accessories)</u>				
B	To walls:	50	Sm		
C	Ditto for aluminium edge strip	40	Lm		
	<u>Plaster: 9 mm first coat of cement/lime putty/sand (1:2:9): 3 mm second coat of cement/lime putty/sand (1:1:6): steel trowelled: on masonry or concrete: to</u>				
D	New Walls: internally	85	Sm		
	<u>Prepare surfaces: apply undercoat and two finishing coats first grade silk vinyl emulsion paint: to as "Crown Paints" or other equal approved: to steel trowelled plastered surfaces</u>				
E	New/ Existing Walls/concrete surfaces: internally	986	Sm		
F	Ditto; soffits of staircase and landings	88	Sm		
Carried to collection					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>External Wall Finishes</u></b>				
	<u>Sand to remove defective paint and apply undercoat and two finishing coats silk vinyl permaplast paint as " Crown Paints" or other equal approved on plastered masonry or concrete surfaces: to</u>				
A	Walls and concrete: externally	78	Sm		
	<b><u>CEILING FINISHES</u></b>				
	<u>Acoustic Ceiling</u>				
	<u>Suspended 600x600 ARMSTRONG FINE FISSURED laid in-grid acoustic ceiling on tegular ceiling grid system complete with white perimeter and curved trim and wall angles as necessary,all to manufacturer's printed instructions and to architect's approval.</u>				
B	Horizontal ceiling: including working around low level beams	36	Sm		
	<u>12.5mm suspended drywall ceiling as Rhinoboard Gypsum ceiling affixed to and including 53 x 32 mm U-section galvanised steel studs with rounded, smooth compound sanded edges, edge trims, plastered and finished in white water based SILK VINYL "as Crown Paint" paint finish to approval.</u>				
C	Horizontal ceiling and bulkheads	148	Sm		
	<u>Prepare surfaces: apply undercoat and two finishing coats first grade silk vinyl emulsion paint: to as "Crown Paints" or other equal approved: to steel trowelled plastered surfaces</u>				
D	Existing plastered ceilings: internally	212	Sm		
Carried to collection below					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>Collection</u></b>				
	From page 2/11				
	From page 2/12				
	From page 2/13				
	From page 2/14 Above				
<b>TOTAL FOR FINISHES CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
<b><u>ELEMENT NO. 7: JOINERY FIXTURES</u></b>					
<b><u>Pegion Hole Shelves</u></b>					
<p><u>The following in 25mm thick hardwood lipped blockboard shelf, dividers, back etc, 20mm thick laminated panelled MDF sides, shelves and doors; 25 x 25mm soft wood bearers complete with Malpha hinges, viro make stainless steel cylinder lock, handles and eggshell paint: complete with and including reinforced concrete plinths for low level cabinets</u></p>					
A	Pegion hole shelves size 2300 x 325 x 2400 mm high; in ground floor Pegion hole; complete with aluminium framed sliding glass doors; to Architect later details	1	No		
B	Pegion hole shelves size 4000 x 325 x 2400 mm high; in ground floor Pegion hole complete with aluminium framed sliding glass doors; to Architect later details	1	No		
<b>TOTAL FOR JOINERY FIXTURES CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>SUMMARY</u></b>				
1	DEMOLITIONS			2/4	
2	WALLING			2/5	
3	PARTITIONS			2/7	
4	WINDOWS			2/8	
5	DOORS			2/10	
6	FINISHES			2/15	
7	JOINERY FIXTURES			2/16	
<b>TOTAL FOR GROUND FLOOR CARRIED TO MAIN SUMMARY</b>					



Item	Description	Qty	Unit	Rate	Amount (Kshs.)
<p><b><u>ELEMENT NO. 1: DEMOLITIONS</u></b></p> <p><b><u>Pricing Notes</u></b></p> <p><b><u>Tenderers are strongly advised to read and understand the following notes before pricing this section. Any query on the notes should be referred to the Quantity Surveyor</u></b></p> <p>1 The unit of billing in this section is "item"</p> <p>2 Amounts for demolitions shall include the following in addition to what is described in the particular item:</p> <p>a) Making good i.e. re-instatement of any finishes and structures affected by the demolition work to the original state.</p> <p>b) Clearing debris with speed on a daily basis as they arise, cleaning of affected surfaces, and removal of the debris from site to Nairobi County Government approved dumping sites. Accumulation of debris within the site premises shall not be allowed.</p> <p>3 Demolition work shall be carefully executed with the particular aim of minimizing damage to adjacent finishes, structure, or components.</p> <p>4 The amounts quoted shall be deemed to be inclusive of all handling of the removed items and their removal from site.</p> <p>5 Amounts given should include for adequate temporary support and protection for the remaining elements of the buildings being demolished and to adjacent buildings and services.</p>					
	Carried to collection				

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
1	All materials, components and fittings arising from the demolitions work shall become the property of the Contractor unless the Client specifically requests for them. The tenderer is therefore expected to give realistic credit in the appropriate column for items which have salvage value.				
2	Amount indicated will be adjusted against the approximate quantity shown in the brackets to reflect the actual quantity of demolition work executed.				
	<b><u>Measured Demolition Works</u></b>				
A	Hack away/ prepare existing floor finish and skirtings; comprising ceramic tiles including screed to an average depth of 40mm deep, cart away arising debris and prepare to receive new finish (approximately 102 square metres) in corridors, gents, ladies, staircase and landings, and sections of the office spaces with defective floor tiles.	1	Item		
B	Surface hack off existing ceramic wall tiles and prepare surface to receive new wall finishes (65 square metres) in gents and ladies washrooms	1	Item		
C	Carefully remove existing water closets, urinals and wash hand basin in the gents and ladies washroom; set aside Water Closets for reuse; set aside other salvaged fittings as directed by the Client. Terminate all plumbing and drainage lines and make good affected areas to receive new fittings.	1	Item		
	Carried to collection				

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
A	Demolished existing louvered windows in office 07; set aside and make good affected areas to receive new masonry walls; 2 No. windows of average size 1200 x 1400 mm high overall	1	Item		
B	Demolish existing timber partitions above metal grilles on dwarf walls along the corridors; including supporting frames; make good affected areas to receive gypsum partitions; approx 18 square meters	1	Item		
C	carefully remove existing timber doors including door frames in office 06, 13 and 15; set aside and make good affected areas to receive new masonry walls; 3 No. doors of average size 900 x 2100 mm high overall	1	Item		
D	Demolished existing aluminium glazed/framed door in office 22; set aside and make good affected areas to receive new Aluminium glazed door; 1 No. doors of average size 140 x 2400 mm high overall	1	Item		
Carried to collection below					
	<p><b><u>Collection</u></b></p> <p>From page 3/1</p> <p>From page 3/2</p> <p>From page 3/3 Above</p>				
<b>TOTAL FOR DEMOLITIONS CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
A	<p><b><u>ELEMENT NO 2: WALLS</u></b></p> <p><b><u>Internal Walls</u></b></p> <p><u>Natural stone walls as local approved stone: machine cut: bedded, jointed and pointed in cement sand (1:3) mortar: recessed vertical and horizontal joints :in</u></p> <p>200 mm Thick walls; to block demolished windows in office 17 and doors in office 12 and 10</p>	10	Sm		
<b>TOTAL FOR WALLING CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
A	<p><b><u>ELEMENT NO. 3: PARTITIONS</u></b></p> <p><b><u>Drywall partition</u></b></p> <p><b>200mm</b> thick Drywall fixed on the dwarf walls above the metal grilles along corridor partition wall on the staircase side; Comprising of 67 x 32 mm U section galvanized frames at 600 mm centres both ways with 1 layer 12.5mm gypsum board on both sides. Dry wall surfaces to include skimming, undercoat &amp; painting in 3 coats of roller applied Crown SILK VINYL EMULSION paint or equal to approval</p>	18	Sm		
<b>TOTAL FOR PARTITIONS CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>ELEMENT NO 4: WINDOWS</u></b>				
	<u>MDF Board Lining</u>				
A	400 x 25mm window board: moulded edge fixed and painted to match final wall/concrete surfaces finishes: with and including cypress bearers set into concrete or masonry to seal gaps between curtain walls and windows thresholds	218	Lm		
	<u>Prepare and apply one coat of aluminium wood primer or equal to approval: on timber surfaces in contact with concrete or masonry or curtain walls: to</u>				
B	Surfaces 200-300 mm girth	218	Lm		
C	Allow a sum for repainting all window curtain rods and repairing (fixing of detouched curtain rods) of defective window curtain rods on ground floor: <b>contractor to visit site to ascertain works required</b>		Sum		
<b>TOTAL FOR WINDOWS CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>ELEMENT NO 5: DOORS</u></b>				
	<u>Aluminium Framed Doors</u>				
A	Supply and fix powder coated aluminium framed double leaf door: comprising 100 x 50mm x 2mm thick frame all round: double leaves infilled in 12 mm thick toughened glass overall size 1400 x 2400 mm comprising 1 No. 900 x 2400mm openable panel and 1 No. 500 x 2400 mm fixed panel; complete with fixing fittings/ accessories and ironmongeries; Door to office 15	1	No		
	<u>Fixing of salvaged doors on site</u>				
B	Take salvaged timber doors complete with timber door frames and ironmongeries and fix into new designated positions/openings; door overall size 900 x 2100mm; <b>Allow for labour only</b>	1	No		
	<u>Flim to door</u>				
C	Supply and fix decorative film to glass where directed: oracle series or other equal and approved : film type sparkle white,sparkle bronze,sparkle grey or other colours obtainable from m/s Window Plus (E.A) Ltd or other equal approved suppliers : to interior designers approval: <b>To glazed doors</b>	9	Sm		
	<u>Prepare surfaces and apply autospray lacquer paint as "Crown Paints" or other equal approved: on wood surfaces: to</u>				
D	Door: general surfaces; to new and existing doors	83	Sm		
E	Surfaces over 200 mm but not exceeding 300 mm girth: frame, architrave and quadrant; to new and existing doors	126	Lm		
Carried to collection					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
A	Surfaces not exceeding 100 mm girth; to new and existing doors  <u>Prepare and apply one coat aluminium hardwood primer as 'Crown Paints' or other equal and approved: on timber surfaces into contact with masonry or concrete</u>	126	Lm		
B	Frames or the like: over 200 but not exceeding 300 mm girth	126	Lm		
C	Surfaces not exceeding 100 mm girth	126	Lm		
D	Provide a provisional sum of <b>KES. 50,000.00</b> for making good defects on existing doors on First Floor		Sum		<b>50,000.00</b>
Carried to collection Below					
	<b><u>Collection</u></b>  From page 3/7  From page 3/8 Above				
<b>TOTAL FOR DOORS CARRIED TO SUMMARY</b>					



Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>ELEMENT NO 6: FINISHES</u></b>				
	<b><u>FLOOR FINISHES</u></b>				
	<u>Cement and sand (1:4) screed: to hacked floors: in</u>				
A	20 mm thick <b>finishing/levelling</b> screed finished to receive Ceramic floor tiles (m.s)	102	Sm		
	<u>Supply and fix <b>SAJ Ceramic</b> floor tiles and skirtings to match the existing floor finish:Allow prime cost rate of <b>Kshs.900.00 per square metre inclusive of VAT for purchase: Add for transport, wastage ,spacers, tile adhesive/ cement/ mortar and fixing</b> :to regular pattern: bedding, jointing and pointing in</u>				
B	Floor: fixing with approved quality adhesive: to corridors, gents and ladies washrooms, and replacing of few tiles in office spaces	102	Sm		
C	Ditto 100 x 10 mm Thick skirtings	72	Lm		
	<b><u>Staircase finishes</u></b>				
	<u>Cement and sand (1:4) screed: to hacked floors: in</u>				
D	20 mm thick <b>finishing/levelling</b> screed finished to receive Ceramic floor tiles (m.s) in landings	3	Sm		
E	Ditto; to 300mm wide treads	26	Lm		
F	Ditto; 150 mm high risers	29	Lm		
Carried to collection Below					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<p><u>Supply and fix <b>Granito</b> staircase tiles and skirtings to match the existing floor finish: Allow prime cost rate of <b>Kshs.2000.00 per square metre inclusive of VAT for purchase: Add for transport, wastage ,spacers, tile adhesive/ cement/ mortar and fixing</b> :to regular pattern: bedding, jointing and pointing in</u></p>				
A	To landings	3	Sm		
B	300 mm wide treads ditto	26	Lm		
C	Extra over ditto for 30 mm wide etching to make treads non-slip (3 No per tread)	26	Lm		
D	150 mm high risers ditto	29	Lm		
E	150 mm High skirting: to profile of steps	22	Lm		
	<b><u>Redecoration of Balustrading/Railing to staircase</u></b>				
	<u>Prepare surfaces and apply one undercoat and three coats of special metal paint finish as Gloss Enamel paint finish or equal to approval. To;</u>				
F	1000 mm high staircase railing	10	Lm		
	<b><u>WALL FINISHES</u></b>				
	<b><u>Internal Wall Finishes</u></b>				
	<u>Cement and sand (1:4): to walls: in</u>				
G	10 mm Thick backing: to receive ceramic wall tiles	65	Sm		
Carried to collection					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<p><u>300 x 300 x 6mm Approved first Ceramic wall tiles : SAJ or approved colour: glazed: to regular pattern: bedding and jointing in cement mortar (1:4) grouting joints with matching coloured cement: colour to Architect's scheme (Allow a prime cost rate of Kshs. 900.00 VAT inclusive for purchase: Add for waste, transport and labour and all other necessary accessories)</u></p>				
A	To walls:	65	Sm		
B	Ditto for aluminium edge strip	68	Lm		
	<p><u>Plaster: 9 mm first coat of cement/lime putty/sand (1:2:9): 3 mm second coat of cement/lime putty/sand (1:1:6): steel trowelled: on masonry or concrete: to</u></p>				
C	New Walls: internally	24	Sm		
	<p><u>Prepare surfaces: apply undercoat and two finishing coats first grade silk vinyl emulsion paint: to as "Crown Paints" or other equal approved: to steel trowelled plastered surfaces</u></p>				
D	New/ Existing Walls/concrete surfaces: internally	772	Sm		
E	Ditto; soffits of staircase and landings	88	Sm		
	<p><b><u>External Wall Finishes</u></b></p> <p><u>Sand to remove defective paint and apply undercoat and two finishing coats silk vinyl permoplast paint as " Crown Paints" or other equal approved on plastered masonry or concrete surfaces: to</u></p>				
F	Walls and concrete: externally	78	Sm		
Carried to collection					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
A	<p><b><u>CEILING FINISHES</u></b></p> <p><u>Sand to remove defective paints, skim surfaces and apply undercoat and two finishing coats first grade silk vinyl emulsion paint: to as "Crown Paints" or other equal approved: to steel trowelled plastered surfaces. To ;</u></p> <p>Existing plastered ceilings: internally</p>	366	Sm		
Carried to collection below					
	<p><b><u>Collection</u></b></p> <p>From page 3/9</p> <p>From page 3/10</p> <p>From page 3/11</p> <p>From page 3/12 Above</p>				
<b>TOTAL FOR FINISHES CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>SUMMARY</u></b>				
1	DEMOLITIONS			3/3	
2	WALLING			3/4	
3	PARTITIONS			3/5	
4	WINDOWS			3/6	
5	DOORS			3/8	
6	FINISHES			3/12	
<b>TOTAL FOR FIRST FLOOR CARRIED TO MAIN SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>ELEMENT NO. 1: DEMOLITIONS</u></b>				
	<b><u>Pricing Notes</u></b>				
	<b><u>Tenderers are strongly advised to read and understand the following notes before pricing this section. Any query on the notes should be referred to the Quantity Surveyor</u></b>				
1	The unit of billing in this section is "item"				
2	<p>Amounts for demolitions shall include the following in addition to what is described in the particular item:</p> <p>a) Making good i.e. re-instatement of any finishes and structures affected by the demolition work to the original state.</p> <p>b) Clearing debris with speed on a daily basis as they arise, cleaning of affected surfaces, and removal of the debris from site to Nairobi County Government approved dumping sites. Accumulation of debris within the site premises shall not be allowed.</p>				
3	Demolition work shall be carefully executed with the particular aim of minimizing damage to adjacent finishes, structure, or components.				
4	The amounts quoted shall be deemed to be inclusive of all handling of the removed items and their removal from site.				
5	Amounts given should include for adequate temporary support and protection for the remaining elements of the buildings being demolished and to adjacent buildings and services.				
Carried to collection					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
1	All materials, components and fittings arising from the demolitions work shall become the property of the Contractor unless the Client specifically requests for them. The tenderer is therefore expected to give realistic credit in the appropriate column for items which have salvage value.				
2	Amount indicated will be adjusted against the approximate quantity shown in the brackets to reflect the actual quantity of demolition work executed.				
	<b><u>Measured Demolition Works</u></b>				
A	Hack away/ prepare existing floor finish and skirtings; comprising ceramic tiles/ carpet flooring including screed to an average depth of 40mm deep, cart away arising debris and prepare to receive new finish (approximately 106 square metres) in corridors, gents, ladies, kitchen, staircase and landings, and sections of the office spaces with defective floor tiles.	1	Item		
B	Surface hack off existing ceramic wall tiles and prepare surface to receive new wall finishes (125 square metres) in gents and ladies washrooms	1	Item		
C	Carefully demolish existing ceiling finishes comprising of acoustic ceilings including all branderings/supports and fittings on second floor. Provisional (365 square metres)	1	Item		
	Carried to collection				

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
A	Carefully remove existing water closets, urinals and wash hand basin in the gents and ladies washrooms; set aside Water Closets for reuse; set aside other salvaged fittings as directed by the Client. Terminate all plumbing and drainage lines and make good affected areas to receive new fittings.	1	Item		
B	Demolish existing timber partitions and metal grilles on dwarf walls along the corridors; including supporting frames; make good affected areas to receive masonry partitions; approx. 22 square meters	1	Item		
C	Demolished existing louvered windows in office 20; set aside and make good affected areas to receive new masonry walls; 1 No. windows of average size 1200 x 1400 mm high overall	1	Item		
D	Carefully remove existing timber doors including timber door frames in office 22 and 23; set aside and make good affected areas to receive new masonry walls; 2 No. doors of average size 900 x 2100 mm high overall; Set aside 1 No. door to be reused in designated opening in office 17	1	Item		
E	Carefully remove existing kitchen sink in the second floor kitchen; set aside set aside other salvaged fittings as directed by the Client. Terminate all plumbing and drainage lines and make good affected areas to receive new fittings.	1	Item		
Carried to collection					





Item	Description	Qty	Unit	Rate	Amount (Kshs.)
A	Carefully remove the low level kitchen cabinets in kitchen. set aside salvaged materials as directed by Client and make good the affected areas to receive new kitchen cabinet. Overall size 2300 x 450 x 900 mm high	1	Item		
Carried to collection below					
<p><b><u>Collection</u></b></p> <p>From page 4/1</p> <p>From page 4/2</p> <p>From page 4/3</p> <p>From page 4/4 Above</p>					
<b>TOTAL FOR DEMOLITIONS CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
A	<p><b><u>ELEMENT NO 2: WALLS</u></b></p> <p><b><u>Internal Walls</u></b></p> <p><u>Natural stone walls as local approved stone: machine cut: bedded, jointed and pointed in cement sand (1:3) mortar: recessed vertical and horizontal joints :in</u></p> <p>200 mm Thick walls; to block demolished doors/widows</p>	6	Sm		
<b>TOTAL FOR WALLING CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
<b><u>ELEMENT NO. 3: PARTITIONS</u></b>					
<b><u>Aluminium Partitions</u></b>					
<u>The following in Aluminium Glazed Partitions: butt jointed glazing with silicon</u>					
<u>Supply, assemble and fix the following purpose made powder coated anodised aluminium frames including wool pile: timber inserts including battens to top frame to match aluminium frames: all to architects detail</u>					
A	50 x 50 x 2 mm Vertical frame	23	Lm		
B	50 x 50 x 2 mm Plinth frame; fixed to floors at 1000 mm centres	6	Lm		
C	50 x 50 x 2 mm Cornice frame; fixed to ceilings at 1000 mm centres	6	Lm		
D	15 x 15 x 1.2 mm Fixing or glazing beads	70	Lm		
<u>Glass sheet in openings: clear: Laminated</u>					
E	6 mm thick to metal with beads (m.s.): panes of varying sizes: silicon jointed to vertical joints	17	Sm		
F	Rubber washleather gasket to hold glass: complete with silicon filler	70	Lm		
<u>Film to glass</u>					
G	Supply and fix decorative film to glass where directed: oracle series or other equal and approved : film type sparkle white, sparkle bronze, sparkle grey or other colours obtainable from m/s Window Plus (E.A) Ltd or other equal approved suppliers : to interior designers approval: <b>To Internal Partitions</b>	17	Sm		
<b>TOTAL FOR PARTITIONS CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>ELEMENT NO 4: WINDOWS</u></b>				
	<u>MDF Board Lining</u>				
A	400 x 25mm window board: moulded edge fixed and painted to match final wall/concrete surfaces finishes: with and including cypress bearers set into concrete or masonry to seal gaps between curtain walls and windows thresholds	218	Lm		
	<u>Prepare and apply one coat of aluminium wood primer or equal to approval: on timber surfaces in contact with concrete or masonry or curtain walls: to</u>				
B	Surfaces 200-300 mm girth	218	Lm		
C	Allow a sum for repainting all window curtain rods and repairing (fixing of detouched curtain rods) of defective window curtain rods on ground floor: contractor to visit site to ascertain works required		Sum		
<b>TOTAL FOR WINDOWS CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>ELEMENT NO 5: DOORS</u></b>				
	<u>Aluminium Framed Doors</u>				
A	Supply and fix powder coated aluminium framed double leaf door: comprising 100 x 50mm x 2mm thick frame all round: double leaves infilled in 12 mm thick toughened glass overall size 900 x 2400 mm panel; complete with fixing fittings/ accessories, ironmongeries; door in secretary office	1	No		
	<u>Fixing of salvaged doors on site</u>				
B	Take salvaged timber doors complete with timber door frames and ironmongeries and fix into new designated positions/openings; door overall size 900 x 2100mm; <b>Allow for labour only</b>	1	No		
	<u>Flim to door</u>				
C	Supply and fix decorative film to glass where directed: oracle series or other equal and approved : film type sparkle white,sparkle bronze,sparkle grey or other colours obtainable from m/s Window Plus (E.A) Ltd or other equal approved suppliers : to interior designers approval: To glazed doors	5	Sm		
Carried to collection					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<u>Prepare surfaces and apply autospray lacquer paint as "Crown Paints" or other equal approved: on wood surfaces: to</u>				
A	Door: general surfaces; to new and existing doors	104	Sm		
B	Surfaces over 200 mm but not exceeding 300 mm girth: frame, architrave and quadrant; to new and existing doors	159	Lm		
C	Surfaces not exceeding 100 mm girth; to new and existing doors	159	Lm		
	<u>Prepare and apply one coat aluminium hardwood primer as 'Crown Paints' or other equal and approved: on timber surfaces into contact with masonry or concrete</u>				
D	Frames or the like: over 200 but not exceeding 300 mm girth	159	Lm		
E	Surfaces not exceeding 100 mm girth	159	Lm		
F	Provide a provisional sum of <b>KES. 50,000.00</b> for making good defects on existing doors on Second Floor		Sum		<b>50,000.00</b>
Carried to collection Below					
	<u>Collection</u>				
	From page 4/8				
	From page 4/9 Above				
<b>TOTAL FOR DOORS CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>ELEMENT NO 6: FINISHES</u></b>				
	<b><u>FLOOR FINISHES</u></b>				
	<u>Cement and sand (1:4) screed: to hacked floors: in</u>				
A	20 mm thick <b>finishing/levelling</b> screed finished to receive Ceramic floor tiles (m.s)	106	Sm		
B	20 mm thick fine <b>finishing</b> screed finished to receive carpet flooring tiles (m.s)	75	Sm		
	<u>Supply and fix <b>Ceramic</b> floor tiles and skirtings to match the existing floor finish:<b>Allow prime cost rate of Kshs.900.00 per square metre inclusive of VAT for purchase: Add for transport, wastage ,spacers, tile adhesive/ cement/ mortar and fixing</b> :to regular pattern: bedding, jointing and pointing in</u>				
C	Floor: fixing with approved quality adhesive: to corridors, gents and ladies washroom, kitchen, and replacing of few tiles in office spaces	106	Sm		
D	Ditto 100 x 10 mm Thick skirtings	155	Lm		
	<b><u>CARPET TILES</u></b>				
	<u>Supply and fix carpet tiles: Allow prime cost rate of <b>Kshs.4000.00</b> per square metre inclusive of VAT for purchase: Add for transport, wastage , adhesive and fixing :Sample to be provided by MC for approval:</u>				
E	To floors fixed with approved adhesive supplied by the Contractor	75	Sm		
Carried to collection					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>WALL FINISHES</u></b>				
	<b><u>Internal Wall Finishes</u></b>				
	<u>Cement and sand (1:4): to walls: in</u>				
A	10 mm Thick backing: to receive ceramic wall tiles	125	Sm		
	<u>300 x 300 x 6mm Approved first Ceramic wall tiles : SAJ or approved colour: glazed: to regular pattern: bedding and jointing in cement mortar (1:4) grouting joints with matching coloured cement: colour to Architect's scheme (Allow a prime cost rate of Kshs. 900.00 VAT inclusive for purchase: Add for waste, transport and labour and all other necessary accessories)</u>				
B	To walls:	125	Sm		
C	Ditto for aluminium edge strip	70	Lm		
	<u>Plaster: 9 mm first coat of cement/lime putty/sand (1:2:9): 3 mm second coat of cement/lime putty/sand (1:1:6): steel trowelled: on masonry or concrete: to</u>				
D	New Walls: internally	12	Sm		
	<u>Sand to remove defective paints, skim surfaces and apply undercoat and two finishing coats silk vinyl emulsion paint as " Crown Paints" or other equal approved on plastered masonry or concrete surfaces: to</u>				
E	New/ Existing Walls: internally	630	Sm		
Carried to collection					



Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>External Wall Finishes</u></b>				
	<u>Sand to remove defective paint and apply undercoat and two finishing coats silk vinyl permaplast paint as " Crown Paints" or other equal approved on plastered masonry or concrete surfaces: to</u>				
A	Walls and concrete: externally	78	Sm		
	<b><u>Redecoration of Balustrading/Railing to staircase</u></b>				
	<u>Prepare surfaces and apply one undercoat and three coats of special metal paint finish as Gloss Enamel paint finish or equal to approval. To:</u>				
B	1000 mm high staircase railing	3	Lm		
	<b><u>CEILING FINISHES</u></b>				
	<b><u>T&amp;G Ceiling</u></b>				
	<u>Wrot cypress: prime grade</u>				
	100 x 25 mm thick T&g timber board to horizontal ceiling: including working around low level beams; in offices and corridors: tongued and grooved joints: nailed on and including 50 x 50 mm long framing: with and including three coat varnish (m.s)	305	Sm		
	<u>Prepare surfaces: and apply undercoat and two finishing coats first grade Crown Polyurethane Clear Varnish paint as "Crown Paints" or other equal approved: on wooden surfaces: to</u>				
D	T&G timber board ceilings	305	Sm		
Carried to collection					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<p><u>Sand to remove defective paints, skim surfaces and apply undercoat and two finishing coats first grade silk vinyl emulsion paint: to as "Crown Paints" or other equal approved: to steel trowelled plastered surfaces. To ;</u></p>				
A	Existing plastered ceilings: internally	60	Sm		
	<p><b><u>Access ladder</u></b></p> <p>2700 mm long x 400 mm wide overall size moveable access ladder; comprising of 2No x 3500 mm long 40 mm diameter x 4 mm thick vertical tubing with 14 No 20 mm diameter x 360 mm long G.S step tubes welded or bolted to vertical members; factory primed and painted in waterproof gloss paint</p>	1	No		
	<p><b><u>Mild Steel Access Hatch</u></b></p> <p>Supply and fix mild steel access hatch; 900 x 900 mm overall door size; Complete with all the necessary ironmongeries and fixing accessories; factory primed and painted in waterproof gloss paint</p>	1	No		
Carried to collection					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
<b><u>Finishes to the Suspended Slab Holding water tanks</u></b>					
<b><u>Water Proofing Membrane</u></b>					
<u>Prepare/clean and treat surfaces by Approved Fungicides;</u> <u>Screed/ plaster: waterproof cement and lightweight</u> <u>aggregate (1:4): on horizontal concrete surfaces: laid to falls</u>					
A	50mm Thick screed: to flat roof: to receive APP (ms)	60	Sm		
<u>APP Membrane to weigh 4 kg/sq.mt (or 4 mm thick): stone</u> <u>chipped finish: 100 mm side laps and 150 mm end laps:</u> <u>bonding between layers: spayed with approved <b>Fungicides</b>:</u> <u>with and including bituminous primer and bonding to cement</u> <u>sand screed base (m/s): laid to falls</u>					
B	To flat roofs	60	Sm		
Carried to collection below					
<b><u>Collection</u></b>					
From page 4/10					
From page 4/11					
From page 4/12					
From page 4/13					
From page 4/14 Above					
<b>TOTAL FOR FINISHES CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
<b><u>ELEMENT NO. 7: JOINERY FIXTURES</u></b>					
<b><u>Kitchen top</u></b>					
<u>Mass concrete mix 1:3:6</u>					
A	100 mm high plinths: including necessary formwork	3	Sm		
<u>Cement and sand (1:4) screed: steel trowelled</u>					
B	15 mm Finish to plinths	3	Sm		
<u>Reinforced concrete class 20/20</u>					
C	75 mm high tops: including necessary formwork	3	Sm		
<u>Cement and sand (1:4) screed: steel trowelled</u>					
D	15 mm Finish to tops	3	Sm		
E	Extra over ditto for making hole size 800 x 500 mm for kitchen sink	1	No.		
<u>20 mm thick granite finish top: approved colour: to regular pattern: bedding and jointing in cement mortar (1:4) grouting joints in matching cement</u>					
F	To kitchen worktops	3	Sm		
Carried to collection					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>Kitchen Cabinets</u></b>				
	<u>The following in 25mm thick hardwood lipped blockboard shelf, dividers, back etc, 20mm thick laminated panelled MDF sides, shelves and doors; 25 x 25mm soft wood bearers complete with Malpha hinges, viro make stainless steel cylinder lock, handles and eggshell paint; complete with and including reinforced concrete plinths for low level cabinets</u>				
A	Low level kitchen L-shaped cabinet size 3000 x 600 x 850 mm high; in the seconf floor kitchen	1	No		
B	Low level kitchen cabinet size 800 x 300 x 850 mm high; in the seconf floor kitchen	1	No		
C	Low level kitchen cabinet size 600 x 600 x 850 mm high; in the seconf floor kitchen	1	No		
D	High level kitchen cabinet size 900 x 450 x 600 mm high; in the second floor kitchen	1	No		
Carried to collection below					
	<b><u>Collection</u></b>				
	From page 4/15				
	From page 4/16 Above				
<b>TOTAL FOR JOINERY FIXTURES CARRIED TO SUMMARY</b>					

Item	Description	Qty	Unit	Rate	Amount (Kshs.)
	<b><u>SUMMARY</u></b>				
1	DEMOLITIONS			4/4	
2	WALLING			4/5	
3	PARTITIONS			4/6	
4	WINDOWS			4/7	
5	DOORS			4/9	
6	FINISHES			4/14	
7	JOINERY FIXTURES			4/16	
<b>TOTAL FOR SECOND FLOOR CARRIED TO MAIN SUMMARY</b>					

PRICE SCHEDULES/BILLS OF QUANTITIES

1. GENERAL

1.1 GENERAL:

- a) The total in the Main Summary of Prices shall include the whole of the Contract Works in accordance with specification as defined before and shall be carried forward to the Form of Tender.
  
- b) Any prices omitted from any item, section or part of the price schedules shall be deemed to have been included in another item, section or part.
  
- c) The prices shall include for all obligations under the Contract including but not limited to supply of materials, equipment, apparatus, fittings, spares and tools, shipping, Insurance, Duty & VAT.

1.2 ABBREVIATIONS

- (a) The abbreviation D. W. denotes 'Definite Work'.
- (b) The abbreviation P. W. denotes 'Provisional Work'.
- (c) The abbreviation P. S. denotes 'Provisional Sum' for provisional work which cannot be fully specified at the date of preparation of the specification.
- (d) The abbreviation P.C. denotes Prime Cost Sum as defined in Section A7 (iii) of the Standard Method of Measurement mentioned in Condition No. 16 of the Conditions of Contract.
- (e) c.m. Shall mean cubic metres.
- (f) s.m. Shall mean square metres.
- (g) l.m. Shall mean linear metres.
- (h) mm. Shall mean millimeters.
- (i) No. Shall mean number.
- (j) Kg. Shall mean kilogramme.
- (k) B.S. Shall mean the current British Standard Specification published by the British Standard Institution, 2 Part Street, London W1, England.



1.3 PROVISIONAL WORK

The Sub-Contractor shall provide quotations for all items of provisional work called for in the price schedule and include it in the Lump Sum Tender Price. The Engineer at his discretion may instruct the Sub-Contractor if any of the items of Provisional Work are not required and in such instances the Tender Price shall be reduced by the amount tendered by the Sub-Contractor for the particular item of Provisional Work.

2. NOTES TO TENDERERS ON SCHEDULES

- 2.1 The tenderer shall complete all schedules except where otherwise instructed.
- 2.2 Schedule shall be read in conjunction with other relevant parts of the Specification as defined herein.
- 2.3 The total of prices in the price schedules summary of prices shall be deemed to include for the whole of the Sub-Contractor works in accordance with the Specification. Any Prices omitted from any time, section or part of a Price Schedule shall be deemed to have been included in another item.
- 2.4 Attention is drawn to the requirement that the Sub-Contractor will be required to commence necessary work on site immediately after appointment. The Sub-Contractor shall tender on this basis and include for purchasing locally such materials as may be required to execute urgent work to the Main Sub-Contractor's programme.
- 2.5 The Sub-Contractor's unit rates as quoted in Price Schedule will be used to assess the value of additions or omissions arising from authorised variations to the Contract Works.
- 2.6 If any quantity has not been included in the Schedules, the tenderer shall put down the quantity from their own calculations.
- 2.7 The schedules bear an item depicted as "Any other item to complete the installations in this section". The tenderer shall insert thereunder any other works, obligations, or items that may be referred to the Conditions of Contract, Specification, Drawings in respect of works which he desires to enter as a separate charge.
- 2.8 Unit rates shall be exclusive of VAT which shall be shown at the Main Summary and shall not be charged against Provisional and/or Prime Cost Sums

PLUMBING & DRAINAGE SERVICES

Item	Description	Qty	Unit	Rate (Kshs)	Cost (Kshs)
	<b>SANITARY FITTINGS</b>  The works involves remodelling of the washrooms to suit new Layouts and as directed by the engineer on site. Existing pipework, flexibles, WC Connectors, and accessories to be reused as far as possible. All supply pipes shall be closed off from the isolation points and drainage points covered/plugged while builder's works are on going. The tenderers MUST visit the site to appreciate the extent of the reorganisation as NO extra cost shall be allowed for omissions arising from lack of site survey.  <i>Tenderers should allow for supply, installation and testing of all sanitary fittings, including angle control valves, flexible connections, waste traps, jointings, Stainless steel wall plates to all plumbing and drainage pipes, couplings including unions and clamps necessary for the proper functioning of the installation when pricing. The specified Sanitary fittings brand is an indication of expected range and the Client may vary part or the whole specifications to suit their choice and taste. Any change of brand and or variation of sizes shall not affect the fixing rates and the tenderers must factor these requirements in their pricing.</i>				
	<b>PLUMBING &amp; DRAINAGE SERVICES</b>				
Item	Description	Qty	Unit	Rate (Kshs)	Cost (Kshs)
	<b>SANITARY FITTINGS</b>				
A	<b>Water Closet (WC) Suite</b>  Duravit D Code complete close coupled w.c. suite in white vitreous china comprising the following components:-  W.C. bowl with horizontal outlet and 6/4 litre dual cistern with fittings and chrome plated lever Seat and cover P/S trap outlet connector. The suite to be supplied complete with valveless cistern fittings including siphon, ½" bottom inlet ball valve, ¾" bottom overflow, bolts, angle regulating valve and connecting fittings from cistern to bowl, chrome plated reversible lever seat. Each unit to be supplied with an Arabic wash.	0	No.		
B.	<b>Wash hand basin (WHB)-Pedestal Top</b>  Duravit D Code wash basin complete with pedestal in white vitreous china with overflow and single tap hole size and comprising of basin, presetex non-concussive timed cycle tap, with pop up waste and standard handles and wall flange, silicon sealant angle regulating valves and fixings to approval.	6	No.		
C.	<b>Toilet Roll Holder</b>  Duravit Dune Toilet Roll Holder.	11	No.		
D.	<b>Urinal</b>  Duravit D code bowl urinal for 1No. Person complete with grating, wall hangers, Docol push Flush valves, 1 No. divider and all accessories for proper function and to manufacturer's specification.	6	No.		
E.	<b>Mirror</b>  6mm thick polished plate glass silver backed mirror with bevelled edges, size 450 x 450mm, Plugged and screwed to wall with 4No. chrome plated dome capped screws. The mirror shall rest against a layer of 5mm thick foam.	6	No.		
F.	<b>Soap Dispenser</b>  'Mediclinics' liquid soap dispenser with lock and wall fixings and painted metal body.	6	No.		
F.	<b>Hand Drier</b>  Mediclinics' automatic hand drier for electrical supply compatible with 220/240V 50Hz single phase supply and to be complete with a mounting plate, centrifugal fan and motor unit of rating 130W – 2 pole induction motor 2700 rpm with thermal overload and radio suppression and 2100w spirally wound element with automatic re-setting thermal cut-out.	6	No.		
Carried to Sub-Collection					

Item	Description	Qty	Unit	Rate (Ksh)	Amount (Ksh)
<u>FIRE FIGHTING EQUIPMENT</u>					
	Supply, deliver and install the following fire fighting equipment in positions indicated on the contract drawings or as shall be instructed by the Engineer. The pipework for the hose reel system to be class B GMS pipes conforming to BS 1387. <u>Portable Fire Extinguishers</u>				
A	Carbon Dioxide Fire Extinguisher  6kg carbon dioxide fire extinguisher complete with re-fill, discharge horn and fittings to wall bracket, as manufactured by Angus or equal and approved.	6	No.		
B	Dry Powder Fire Extinguisher  9Kg dry powder multi-purpose fire Class A, B and C as manufactured by Angus Fire Armour ABC multipurpose model AP9K or equal and approved.	6	No.		
C	Heat Actuated Fire Extinguisher  9kg Dry power heat actuated automatic fire extinguisher complete with re-fill, discharge sprinkler and fittings to wall ceiling bracket, as 'Ever safe' or equal and approved.	2	No.		
Total Cost for Fire Fighting Services Carried to Summary Page					

**PLUMBING & DRAINAGE SERVICES AND FIRE FIGHTING WORKS INSTALLATIONS  
 SUMMARY PAGE**

Item	Description	Unit	Qty	Rate	KShs.
S.1	<u>SECTION 2</u> Plumbing & Drainage	Sum			
S.2	<u>SECTION 3</u> Firefighting Services	Sum			
	Sub Total				
	Add 16% VAT				
Grand Total					

Item	Description	Qty	Unit	Rate (Ksh)	Amount (Ksh)
	<b>SPLIT AIR CONDITIONING SYSTEM FOR COMMITTEE ROOMS</b>				
	The air conditioning system shall be split type for each room.				
	The indoor unit shall be ceiling cassette type air-cooling unit of capacity 7.1KW (24,000 Btu/hr). The air conditioning unit shall be supplied complete with room thermometer, room thermostat controls and remote control device. It shall be charged with R410A refrigerant or any other non ozone depleting refrigerant. The unit shall be such that if the power supply goes off, it will start automatically after power is restored with three minute delay. The outdoor unit shall have matching capacity with the indoor unit. The unit shall be "Carrier" Model or equal and approved.				
A		3	No.		
	<b>Refrigeration Pipework</b>				
B	Refrigeration liquid line pipework including 25mm Amaflex insulation.	30	Lm.		
C	Refrigeration gas line pipework including 25mm Amaflex insulation.	30	Lm.		
	<b>Refrigerant</b>				
D	Allow R410A refrigerant for charging air conditioning system.	3	Item		
	<b>Drain</b>				
E	25mm PVC condensate drainage pipework, class D, including bends, clips, joints and tees in the running lengths of the pipe.	30	LM		
	<b>Surge Protector</b>				
F	Power surge protector as Solatek to suite or equal and approved.	3	No.		
	<b>Electrical Works</b>				
G	Allow for associated electrical works from the local isolator provided by others within one meter to the air conditioning units and wiring from indoor unit to outdoor unit.	3	Item		
	<b>Mounting Bracket</b>				
H	Mounting bracket for the outdoor unit complete with a cage and provided with purpose-made protective steel iron angle frame and all other anchoring accessories including rawl bolts and anti-vibration rubber mountings to engineer's approval.	3	Item		
	<b>Wall Mounted Wired Remote Controller</b>				
I	Fully wired wall mounted remote controller panel, wiring and conduit works including but not limited to interconnecting cable between the outdoor and indoor units.	3	No.		
	<b>Trunking</b>				
J	75x50mm approved PVC trunking for concealing the refrigerant pipework.	35	LM		
<b>Total Carried Forward to Summary Page for Split Air Conditioning</b>					

MAIN SUMMARY PAGE FOR MECHANICAL INSTALLATION WORKS

Item	Description	Cost (Kshs)
1	Total for Plumbing and Drainage Works carried Forward from Collection Page .....	
2	Total for Air Conditioning Works carried Forward from Collection Page .....	
	Total Cost Estimates for Plumbing, Drainage and Fire Fighting Works carried to Form of Tender	

Item	Description	Unit	Qty	Amount (Kshs.)
<b>M&amp;E, PC AND PROVISIONAL SUMS</b>				
<b><u>Provisional Sums</u></b>				
<u>The following Provisional Sums are to be measured on completion and priced in accordance with the rates contained in these bills of Quantities or pro-rata thereto or deducted in the whole not required</u>				
A	Allow a provisional sum of <b>KES. 150,000.00</b> for <b>Builders' Work with connection to Services</b>	Item		<b>150,000.00</b>
B	Allow a provisional sum of <b>KES. 100,000.00</b> for repair and making good all the sections of leaking roofs including making good all the defective rain water goods	Item		<b>100,000.00</b>
C	Allow a provisional sum of <b>KES. 350,000.00</b> for Upgrading of the Roof Canopy at the Main Entrance	Item		<b>350,000.00</b>
D	Allow a provisional sum of <b>KES. 50,000.00</b> for making good the existing Ramp at Back Entrance Door on Ground Floor	Item		<b>50,000.00</b>
<b><u>PC Sums</u></b>				
E	Provide a prime cost sum for <b>KES. 1,000,000.00</b> for <b>Electrical Installations</b>	Sum		<b>1,000,000.00</b>
F	Allow for profit and attendance			
<b>TOTAL FOR PROVISIONAL AND PC SUMS CARRIED TO GRAND SUMMARY</b>				

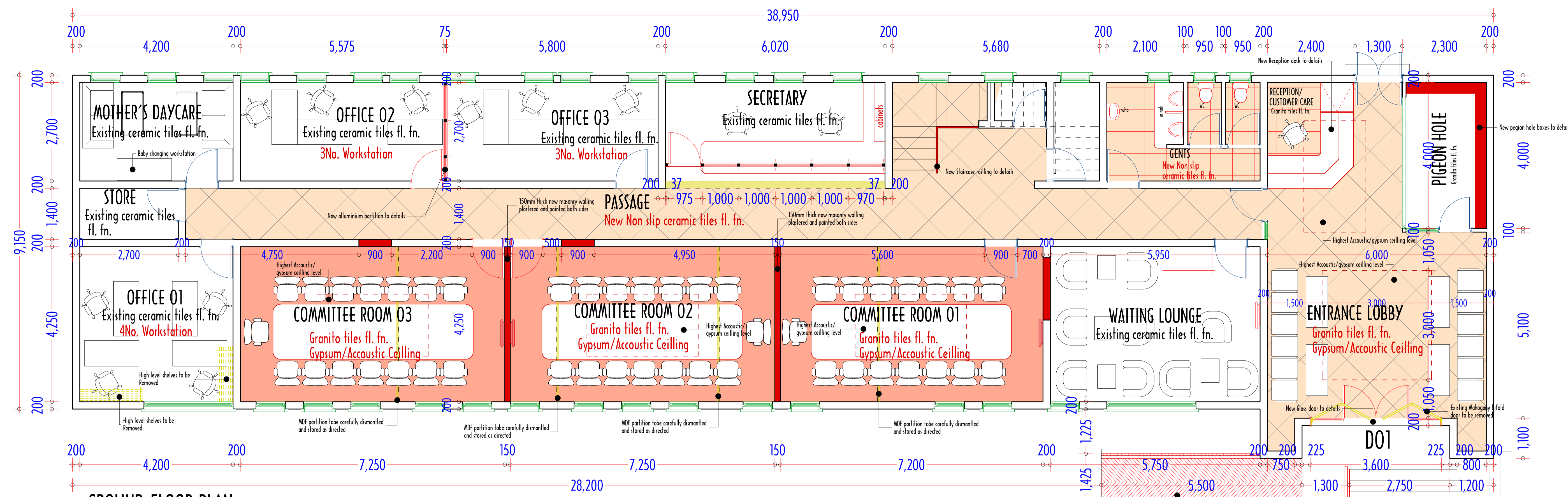
**MAIN SUMMARY**

ITEM	DESCRIPTION	AMOUNT (KSHS)
1	BILL NO 1. PRELIMINARIES	
2	BILL NO 2. GROUND FLOOR WORKS	
3	BILL NO 3. FIRST FLOOR WORKS	
4	BILL NO 4. SECOND FLOOR WORKS	
6	BILL NO 5. MECHANICAL INSTALLATIONS	
7	BILL NO 6. PRIME COST AND PROVISIONAL SUMS	
	<b>CONTINGENCIES</b>	
8	Provide a Provisional Sum of <b>KES. 500,000.00</b> for Contingencies to be expended at the discretion of the Architect	<b>500,000.00</b>
9	<b><u>VALUE ADDED TAX</u></b>	
	The Contractor's attention is drawn to the Finance Bill, 1993 which requires the Contractor to pay Value Added Tax (V.A.T.) To the Government of Kenya for all Contracts entered into after 1st September 1993. The Contractor is therefore to allow for such taxes as are chargeable by the Government of Kenya.	
	<b>NB: Value Added Tax to be applied on All Works excluding Provisional sums, Prime Cost Sums and Contingencies</b>	
<b>TOTAL CARRIED TO FORM OF TENDER</b>		<b>INCLUSIVE IN RATES</b>

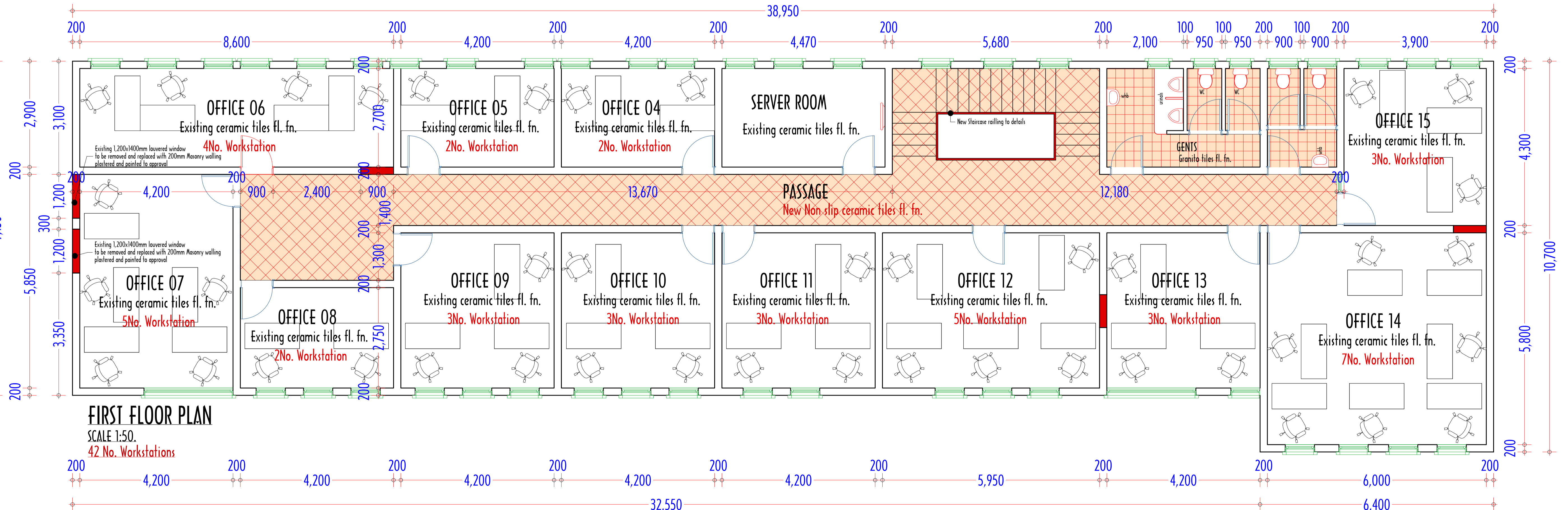
**SIGNED**

<b>TENDERER</b>	
<b>TENDER PERIOD</b>	
<b>DATE</b>	





**GROUND FLOOR PLAN**  
SCALE 1:50.  
10 No. Workstations



**FIRST FLOOR PLAN**  
SCALE 1:50.  
42 No. Workstations

**KEY**

- Existing works to be retained
- Existing works to be demolished
- New works

- Notes.**
- 1). All dimensions are in mm unless otherwise specified.
  - 2). Drawings dimensions are to be read and NOT scaled.
  - 3). The contractor must verify all dimensions on site before commencement of work.
  - 4). All drains beneath drive ways to be encased in 100mm thick conc. surround.
  - 5). All inspection chambers covers shall be cast iron to comply with BS497 TABLE 2 GRADE A.
  - 6). Any alteration to the design **MUST** be Reported to the consultant (architect) before implementation.
  - 7). Any matters arising from the drawing to be reported to the architect or client before any resolutions are made on site.

No.	Revision/Issue	Date

consultants:  
ARCH MERCHANTS ASSOCIATES  
P.O. Box 629-00204, Athi-River.  
REG. No. A-1219.

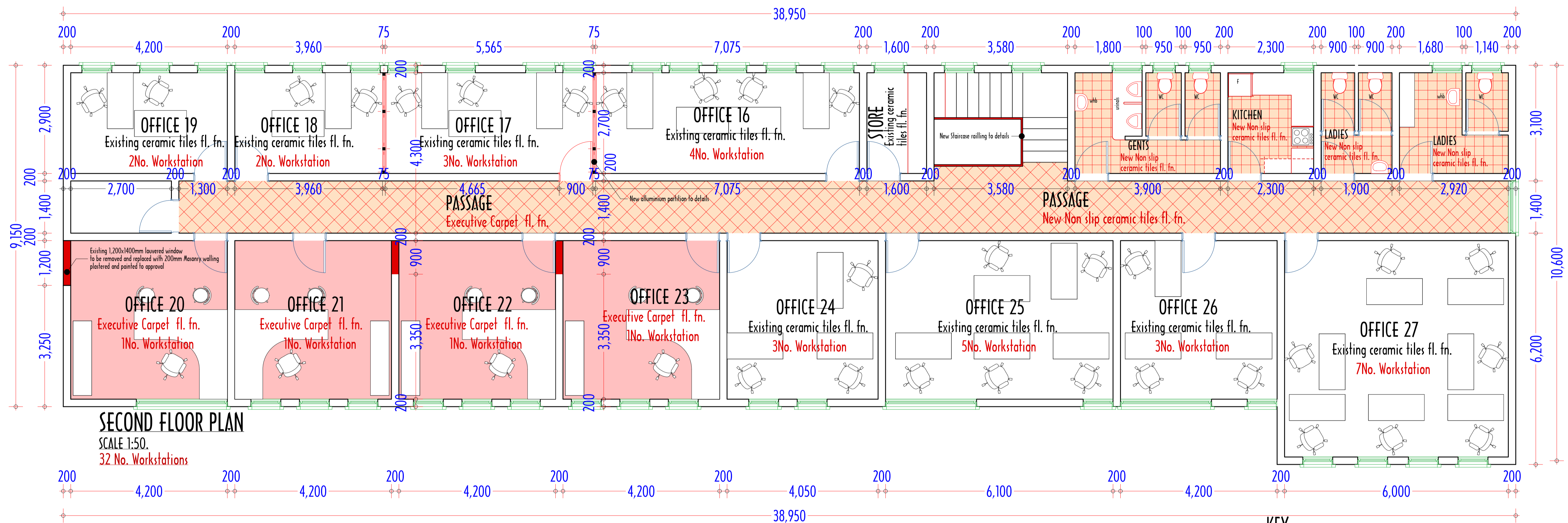
Client  
NAKURU COUNTY ASSEMBLY,  
P.O. BOX 907-20100,  
NAKURU.

Project  
PROPOSED REHABILITATION/RENOVATION TO  
NAKURU COUNTY ASSEMBLY OFFICES,  
ON PLOT NO.....  
NAKURU COUNTY

Drawing Title  
**PLANS**

Architect	Designed	Sheet
F. M. MWENDO	Steve K.	01
Date	Drawn	Scale
FEB 2020	Steve K.	as shown
Drawing		
		AR004/FEB/2020





**SECOND FLOOR PLAN**

SCALE 1:50.  
32 No. Workstations

**KEY**

- Existing works to be retained
- Existing works to be demolished
- New works

**Notes.**

- 1). All dimensions are in mm unless otherwise specified.
- 2). Drawings dimensions are to be read and **NOT** scaled.
- 3). The contractor must verify all dimensions on site before commencement of work.
- 4). All drains beneath drive ways to be encased in 100mm thick conc. surround.
- 5). All inspection chambers covers shall be cast iron to comply with BS497 TABLE 2 GRADE A.
- 6). Any alteration to the design **MUST** be Reported to the consultant (architect) before implementation.
- 7). Any matters arising from the drawing to be reported to the architect or client before any resolutions are made on site.

No.	Revision/Issue	Date

consultants:  
ARCH MERCHANTS ASSOCIATES  
P.O. Box 629-00204, Athi-River.  
REG. No. A-1219.

Client  
NAKURU COUNTY ASSEMBLY,  
P.O. BOX 907-20100,  
NAKURU.

Project  
PROPOSED REHABILITATION/RENOVATION TO  
NAKURU COUNTY ASSEMBLY OFFICES,  
ON PLOT NO.....  
NAKURU COUNTY

Drawing Title  
PLANS

Architect. F. M. MWENDO	Designed Steve K.	Drawn Steve K.	Sheet 02
Date FEB 2020	Scale as shown	Drawing AR004/FEB/2020	